

# Appendices and Additional Information

## Appendix A – Development Requirements

List of Information Required for Development and Project Applications	202
Requirements for Design Competition Processes	206

## Appendix B – New Public Spaces

Urban Park – Central Precinct (11)	209
Local Park – Parkview (12)	210
Local Park – Haslams (13)	211
Local Park – Central Sports (14)	212
Local Park – Central Linear Park (15)	213
Public Domain – Athletics Centre (16)	214
Public Domain – Warm Up Track (17)	215
Landscape Corridor – Boundary Creek (18)	216
Landscape Corridor – Parkview (19)	217

## Appendix C – Streets Plans and Sections

Street 1	Olympic Boulevard North	220
Street 2	Olympic Boulevard South	222
Street 3	Dawn Fraser Avenue East	224
Street 4	Dawn Fraser Avenue Central	225
Street 5	Dawn Fraser Avenue West	226
Street 6	Murray Rose Avenue East	227
Street 7	Murray Rose Avenue Central	228
Street 8	Australia Avenue	229
Street 9	Kevin Coombs Avenue	230
Street 10	Edwin Flack Avenue	231
Street 11	Sarah Durack Avenue	232
Street 12	Pondage Link	233
Street 13	Old Hill Road	234
Street 14	Herb Elliott Avenue	235
Street 15	Shane Gould Avenue East	236
Street 16	Shane Gould Avenue West	237
Street 17	Showground Road	238
Street 18	Grand Parade	239
Street 19	Central Shopping Street	240
Street 20	Median Street	241
Street 21	Figtree Drive	242
Street 22	Parkview Drive	243
Street 23	North South Street	244
Street 24	Verge Street	245
Street 25	Pedestrian Street	246
Street 26	Shared Way	247
Street 27	Service Street	248
Street 28	Coach Parking Street	249
Street 29	Bennelong Parkway	250
Street 30	Marjorie Jackson Parkway	251
Street 31	Shirley Strickland Avenue	252
Street 32	Park Edge Street Haslams	253
Street 33	Park Edge Street Boundary Creek	254
Street 34	Rod Laver Drive	255
Street 35	Central Park Edge Street	256
<b>Appendix D – List of Figures and Tables</b>		<b>257</b>
<b>Glossary</b>		<b>261</b>
<b>Acronyms and Abbreviations</b>		<b>263</b>
<b>Key Documents Related to Master Plan 2030</b>		<b>264</b>
<b>Bibliography</b>		<b>265</b>

# Appendix A – Development Requirements

## List of Information Required for Development and Project Applications

The following information is required to be submitted as part of an application:

Item	Notes	Requirement
Owner's Consent		Always
Survey Plan	To scale	Always
Site Analysis		Always
Architectural Drawings including Plans, Sections and Elevations	To scale noted on drawings	Always
Landscape Strategy	Design and maintenance, including weed management plan	For all external works
Statement of Environmental Effects or Environmental Impact Assessment	To comply with (Part 4 of the EP&A Act) and to include as a minimum: <ul style="list-style-type: none"> <li>a description of the development's environmental impacts</li> <li>how the environmental impacts have been identified</li> <li>the steps to be taken to protect the environment or to mitigate any expected harm to the environment</li> <li>any matters required by the Authority</li> <li>an assessment of the proposal against all relevant planning instruments and guidelines.</li> </ul>	Always
Contamination Report	With reference to the requirements of SEPP 55 Remediation of Land	Always
Remediation Report	With reference to the requirements of SEPP 55 Remediation of Land	If required
Stormwater and Water Sensitive Urban Design Report	With reference to the requirements of Sydney Olympic Park Stormwater and Water Sensitive Urban Design Policy	If required
Travel Management Plan	All non residential development proposals must submit a Workplace Travel Plan aimed at increasing public transport use and addressing the 40% Journey to Work public transport mode share target identified in Master Plan 2030.	Required
Archaeological Assessment		If required
Shadow Drawings	Diagrams required at 9 am, 12 noon and 3pm for the winter solstice and the equinoxes showing shadow impact of proposed development on the surrounding context, extending a minimum of 100m from the development site.	If required, mandatory for development over 25m
Noise Impact Analysis	Addressing the proposed use in the events precinct, rail noise and the impact of the development on the existing and proposed environment.	If required

# Appendix A – Development Requirements

Item	Notes	Requirement
Visual Impact Analysis	Describes the impact of the development on height and form of venue roofs.	For any building over 25m high
Event Impact Statement	<p>To comply with SEPP (Major Development) Amendment (Sydney Olympic Park) 2009, Subdivision 4 as it relates to major events capability include, as a minimum:</p> <ul style="list-style-type: none"> <li>• a description of the development's construction and post construction operating impact on major event capability</li> <li>• how the expected impacts and avoided impacts have been identified</li> <li>• the steps to be taken during construction and post construction operation to protect and/or mitigate the level of potential impact on major event capability</li> <li>• any matters requested by the Sydney Olympic Park Authority</li> <li>• an assessment of the development proposal against all relevant planning instruments and guidelines.</li> </ul>	Always
Heritage Impact Statement	If development is proposed within or adjacent to a heritage item	Always
Board of Materials Finishes and Colours		Always

# Appendix A – Development Requirements

Item	Notes	Requirement
Public Domain Plan	<p>A Public Domain Plan (extending from the building frontage to the gutter) and specification including cross and long sections is to be prepared and submitted for approval for all new streets or parts of streets.</p> <p>This plan is to be drawn at minimum scale 1:100.</p> <p>The plan must include:</p> <ol style="list-style-type: none"> <li>1. All existing trees and other urban elements</li> <li>2. The main building line showing pedestrian and vehicular entrances</li> <li>3. Awnings</li> <li>4. Colonnades</li> <li>5. Kerb ramps</li> <li>6. Pavement type and detail</li> <li>7. Kerb</li> <li>8. Vehicle crossovers</li> <li>9. Street furniture, including signs and parking meters</li> <li>10. Lights</li> <li>11. Trees and tree pits</li> <li>12. Public art</li> <li>13. Levels at the entrances, building line, top of kerb and bottom of kerb.</li> </ol> <p>The longitudinal sections are to be at minimum scale 1:100 and the cross-sections are to be drawn at minimum 10 m intervals at minimum scale 1:50 (with 1:10 exaggerated vertical scale), including pavements and sub base and proposed cross-falls.</p>	For all external works
Wind Impact Analysis		For any building over 25m high
Solar Impact Analysis	Describes the impact of development on solar access to surrounding development to a radius of 100m.	For any building over 25m
View Impact Analysis	Describes the impact of the development on views from surrounding developments to a radius of 100m.	For any building over 25m high



# Appendix A – Development Requirements

Item	Notes	Requirement
Environmental Management Plan (EMP)	<p>Describes in detail the actions required to implement the sustainable design initiatives of the project. It should contain (as a minimum):</p> <ul style="list-style-type: none"> <li>• an assessment of the proposal's consistency with the Sydney Olympic Park Authority Environmental Guidelines</li> <li>• recognition of the need to prepare a detailed Construction Environmental Management Plan (CEMP) and an Operational Environmental Management Plan (OEMP) for the project</li> <li>• an outline of the commitment to the environment and sustainable development, including intentions and principles in relation to the overall environmental performance and a framework for action that can be assessed and measured.</li> <li>• an assessment of the impact of rising sea level as a result of climate change using the best current estimate scenario of the International Panel on Climate Change (IPCC)</li> </ul>	For all development applications and major project applications
Three Dimensional Massing/Block Model and/or Photomontages		If required
Waste Management Plan	As part of the design, construction and operational management plans	Always
Sydney Olympic Park Masterplan 2030 (2018 Review)	Describes how the proposal complies with and achieves Sydney Olympic Park Masterplan 2030 (2018 Review)	Always
Green Star	Provision of Green Star Registration Certificate	As per Table 4.1
Parklands Plan of Management	With reference to the requirements of Sydney Olympic Park Parklands Plan of Management	Any development within SOPA Parklands
BASIX Certificate	For development applications involving residential uses	Always
NABERS Energy Rating Report	For development applications involving commercial and office buildings, retail centres and hotels	Always

# Appendix A – Development Requirements

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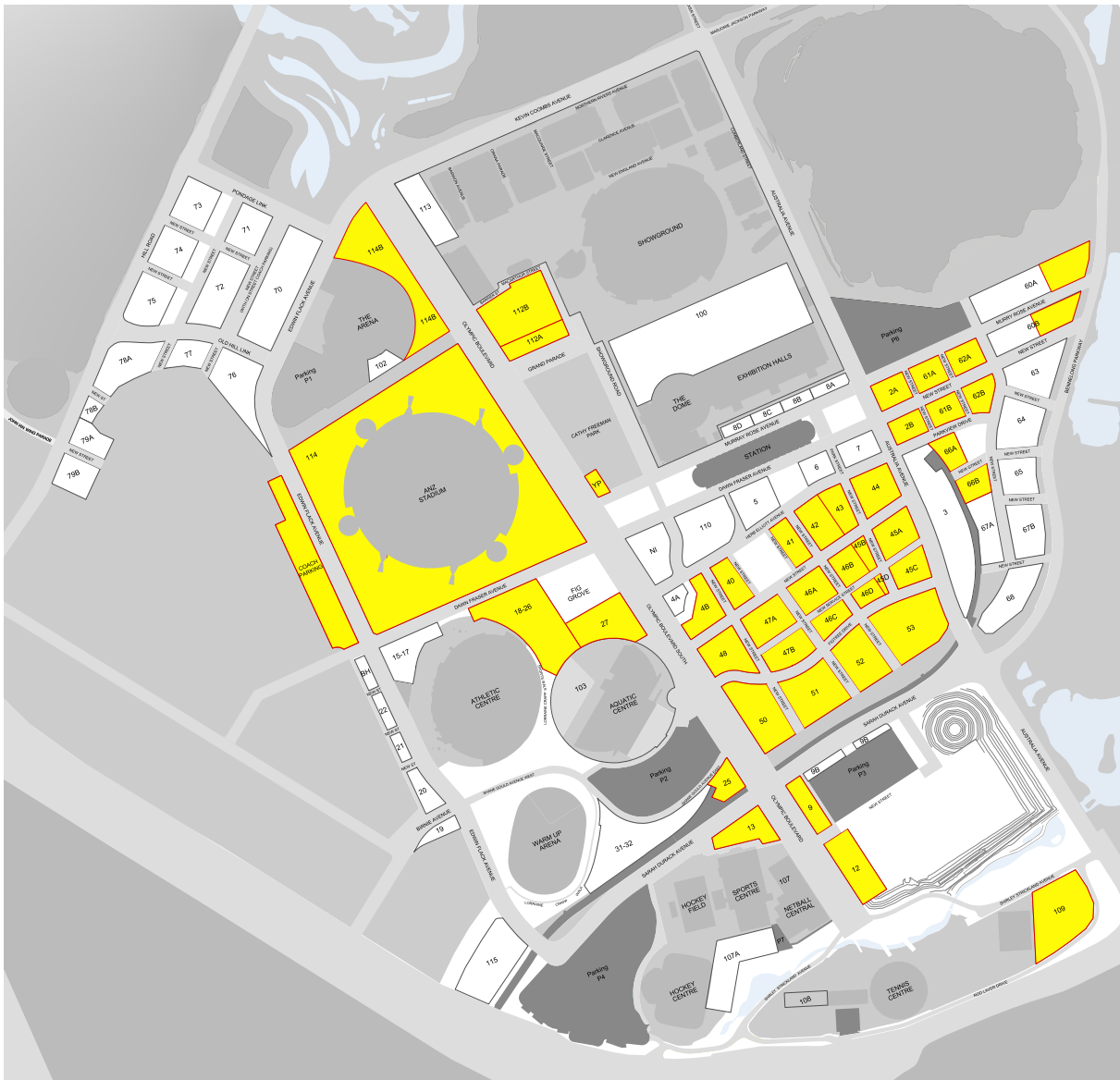
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## Requirements for Design Competition Processes

To ensure the highest quality design for key sites in Sydney Olympic Park, a design competition is required for sites identified in Figure 4.6 Design Competition Sites Plan. The requirements for the design competition process are contained in the Sydney Olympic Park Authority Design Excellence Policy.

# Appendix A – Development Requirements

Figure 4.6 Design Competition Sites Plan



- Design Competition Sites
- Subject to Future Master Plan Study

# Appendix B – New Public Spaces

**Figure B1** Public Spaces Key



- |   |  |   |   |                         |
|---|--|---|---|-------------------------|
| <p><b>Events Places</b></p> <ul style="list-style-type: none"> <li>1 Olympic Plaza</li> <li>2 Cathy Freeman Park</li> <li>3 Yulang Square</li> <li>4 Fig Grove</li> </ul> <p><b>Urban Parks</b></p> <ul style="list-style-type: none"> <li>5 Station Square</li> <li>6 Jacaranda Square</li> <li>7 Stockroute Park</li> <li>8 Abattoir Garden</li> <li>9 Venue Forecourt</li> <li>10 Brickpit Park</li> <li>11 Central</li> </ul> | <p><b>Local Parks</b></p> <ul style="list-style-type: none"> <li>12 Parkview</li> <li>13 Haslams</li> <li>14 Central Sports</li> <li>15 Central Linear Park</li> </ul> | <p><b>Public Space Shared with Venues</b></p> <ul style="list-style-type: none"> <li>16 Athletics Centre</li> <li>17 Warm Up Track</li> </ul> | <p><b>Landscape Corridor</b></p> <ul style="list-style-type: none"> <li>18 Boundary Creek</li> <li>19 Parkview</li> </ul> | <p><b>Forecourt</b></p> |
|---|--|---|---|-------------------------|
- New public spaces

# Appendix B – New Public Spaces

## Urban Park – Central (11)

### Intent/Character

This new urban park is to provide a focus and identity for the Central Precinct. It is to provide for a range of passive uses within a park setting. The park will also be visited by residents, visitors and workers that live and work within Sydney Olympic Park as a whole.

The intention for this park is to provide a pleasant, grassed open space surrounded with trees, seating and artworks as a focus for the precinct and a respite within the Town Centre. The park is to provide sunny and shady places, and opportunities for a range of activities, such as casual social interaction and casual seating for individuals and social groups. Paths are to be limited to main desire lines.

This park is to be a publicly owned park. One large park is favoured as it provides a large contiguous space that is more flexible and multifunctional. However this park may be provided in two parts, totalling 5780m<sup>2</sup>.

### Guidelines

- consolidate shade and seating to the park edges
- ensure sizable open area for casual interaction
- include amenity for children that is shaded and has seating adjacent
- locate paths along main desire lines
- the edges of the park are to be bounded by on-grade public streets that are interconnected back into the surrounding Town Centre area
- public lighting to be provided to park edges and pathways
- ensure active retail frontages along all park edge streets
- ensure design and orientation allows solar access in accordance with the requirements of Section 4.3 of the *Master Plan 2030*.

### Area

5,780m<sup>2</sup>

Where two parks are preferred the larger one:

- must be located between; and front both Herb Elliott Avenue and the new North-South Street,
- be no narrower than 45m and achieve two thirds of the prescribed area,
- achieve at least half of its frontage overlapping the abattoir gardens frontage to create a generous view and sun access corridor.

### Status

To be dedicated to the Sydney Olympic Park Authority, with the option to negotiate private access under a maximum of 50% of the park.

### Predominant uses

A mix of active, social and passive recreational uses, including walking, sitting, worker lunch/ coffee breaks, children's playground, unstructured ball games and play.

### Planting

Large indigenous rainforest trees are to be used to border the park and extend the street tree planting. Colourful trees are to be used within the park to provide seasonal colour. Understorey planting can also provide colour and bird habitat. Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

Site not identified for artwork.

# Appendix B – New Public Spaces

## Local Park – Parkview (12)

### Intent/Character

This park acts as a local park for the Parkview residential neighbourhood and as a focus for the commercial area within the precinct. This park is part of an open space network that links the Town Centre to the parklands. The landscape character should complement Bicentennial Park and the character of the adjoining street tree planting.

### Guidelines

- consolidate shade and seating to the park edges
- ensure sizable open play area in the flatter part of the park for informal ball games
- provide children's playground. Ensure play area is shaded and has seating adjacent
- locate paths along main desire lines
- public lighting to be provided to park edges and pathways
- ensure active retail frontages around the park
- ensure design and orientation allows solar access in accordance with the requirements of Section 4.3 of the *Master Plan 2030*.

### Area

2,400 m<sup>2</sup>

### Status

To be dedicated to the Sydney Olympic Park Authority.

### Predominant uses

A mix of active, social and passive recreational uses.

### Planting

Large indigenous rainforest trees are to be used to border the park and extend the street tree planting. Colourful trees are to be used within the park to provide seasonal colour. Understorey planting can also provide colour and bird habitat.

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

Site identified for artwork. Artwork should relate to the local and school community.

Refer to the Sydney Olympic Park *Master Plan 2030* Urban Art Strategy.

# Appendix B – New Public Spaces

## Local Park – Haslams (13)

### Intent/Character

This linear park is made up of a series of three discrete but connected pocket parks that form the focus for this new residential neighbourhood. The opportunity exists to create three open spaces, each with a distinct character. The intention is to provide a green space with high amenity and a mix of sun and shade to support more active and passive pastimes. Intimately scaled spaces should be balanced with more open areas. Spaces for play, and casual seating for individuals and social groups need to be included.

### Guidelines

- consolidate shade and seating to the park edges
- ensure sizable grassy open play area for casual ball games as well as for dogs
- ensure play area is shaded and has seating adjacent
- include a children's playground that is shaded and has seating adjacent
- locate paths along main desire lines
- use appropriate low planting to buffer adjacent residential buildings
- ensure design and orientation allows solar access in accordance with the requirements of Section 4.3 of the *Master Plan 2030*.

### Area

4,755 m<sup>2</sup>

### Status

To be dedicated to the Sydney Olympic Park Authority.

### Predominant uses

A mix of active, social and passive recreational uses, including walking, sitting, informal picnics, children's playground, unstructured ball games and play.

### Planting

Large indigenous rainforest trees are to be used to border the park and extend the street tree planting. Colourful trees are to be used within the park to provide seasonal colour. Understorey planting can also provide colour and bird habitat.

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

Site identified for artwork. Artwork should relate to the local community.

Refer to the *Sydney Olympic Park Master Plan 2030 Urban Art Strategy*.

# Appendix B – New Public Spaces

## Local Park – Central Sports (14)

### Intent/Character

This park is the focal point for the Sports and Education Precinct. It provides a common gathering space for students and is a potential overflow play space for the adjacent school.

It also marks the convergence of the precinct's major circulation routes:

- future pedestrian corridor that links the Southern Sports Precinct to the Stadia Precinct via a pedestrian bridge across Sarah Durack Avenue, Lorraine Crapp Walk and Sports Walk
- Shane Gould Avenue linking Edwin Flack Avenue with Olympic Boulevard.

The park also forms frontages for future development at Sites 24 and 30.

The landscape character should complement existing landscape features on the site such as the landscaped berm around the Warm Up Track and the basalt walls around the Athletics Track and the Aquatic Centre.

### Guidelines

- consolidate shade and seating to the park edges
- ensure sizable open play area in the flatter part of the park for informal ball games
- provide a combination of hard paved areas and grassed surfaces
- locate paths along main desire lines
- ensure design and orientation allows solar access in accordance with the requirements of Section 4.3 of the *Master Plan 2030*.

### Area

3,400m<sup>2</sup>

### Status

To be dedicated to the Sydney Olympic Park Authority.

### Predominant uses

A mix of active, social and passive recreational uses with the possibility of some shared 'break out' use with the adjacent school.

### Planting

Primarily grassed surfaces with planting beds and larger shade trees used to border the area and extend the street tree planting. Colourful trees are to be used within the park to provide seasonal colour. Concentrate grassed surfaces at the southern end of the park. Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

Site is identified for permanent artwork. Artwork should relate to sporting, educational or environmental themes. Refer to the *Sydney Olympic Park Master Plan 2030 Urban Art Strategy*.



# Appendix B – New Public Spaces

## Local Park – Central Linear Park (15)

### Intent/Character

This linear park acts as a green edge to the residential part of Central Precinct. It is an important space for the identity and amenity of the Figtree Drive residential neighbourhood. It is to provide for a range of passive and active community and family activities such as walking, dog walking, cycling, children's play, casual social interaction and picnicing.

The park will be readily accessible from new streets within the precinct as well as from Olympic Boulevard and Australia Avenue and complete a local green link to Bicentennial Park.

It can have a variety of different characters along its length which should complement landscaping with a natural woodland character with native grass understorey and close canopy planting for habitat. Its character should also complement landscapes of the parklands.

### Guidelines

- locate paths along main desire lines to connect with existing and proposed pedestrian/bike paths
- consolidate planting to create a buffer between pedestrians and cyclists, and car parking
- consolidate shade and seating to the park edges
- ensure sizable open play area in the flatter part of the park for informal ball games
- provide a combination of hard paved areas and grassed surfaces
- ensure design and orientation allows solar access in accordance with the requirements of Section 4.3 of the *Master Plan 2030*.

### Area

10,510 m<sup>2</sup>

### Status

To be dedicated to the Sydney Olympic Park Authority.

### Predominant uses

A mix of casual and social spaces, passive uses and shared pedestrian/cycle path.

### Planting

Large and small indigenous trees and native grasses.

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Provide lighting only to pedestrian and cycle paths. Protect areas of habitat from light spill.

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

Site identified for artwork. Artwork should be integrated and related to the ecology of this setting.

Refer to the Sydney Olympic Park *Master Plan 2030* Urban Art Strategy.

# Appendix B – New Public Spaces

## Public Domain – Athletics Centre (16)

### Intent/Character

The public domain around the venue is to function in two modes: everyday use and events mode. It will be primarily a shared plaza space for athletic venue events, education campus activities and local users associated with neighbouring temporary accommodation and lunchtime users. This space should be open and urban in character and robust enough to cater for intermittent intense usage. It should have shaded edges, be well lit and allow good pedestrian surveillance throughout.

### Guidelines

- maintain a minimum uninterrupted path of travel of 8m around the venue
- integrate appropriate venue signage in the forecourt area
- integrate with adjoining open spaces and adjacent education buildings
- consolidate shade planting to edges of plaza
- provide multiple, spatial zones, each with a distinct character
- seating should be located only around the perimeter out of the main paths of pedestrian movement
- maintain access for service vehicles.

### Area

14,175m<sup>2</sup>

### Status

To be dedicated to the Sydney Olympic Park Authority.

### Predominant uses

Casual and social sitting and meeting spaces associated with the Sports and Education Precinct.  
Pedestrian circulation to and around venue.

### Planting

Large indigenous trees are to be used to border the plaza and extend the street tree planting.  
Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

Site identified for artwork.

Refer to the Sydney Olympic Park *Master Plan 2030* Urban Art Strategy.

# Appendix B – New Public Spaces

## Public Domain – Warm Up Track (17)

### Intent/Character

The public domain around the Warm Up Track will be a shared space for periodic athletic events and everyday education campus activities.

This space should be open and urban in character, and robust enough to cater for intermittent intense usage. It should have shaded edges, be well lit and allow good pedestrian surveillance throughout.

### Guidelines

- maintain a minimum uninterrupted path of travel of 4m around the venue
- integrate appropriate venue signage in the forecourt area
- integrate with adjoining open spaces and adjacent education buildings
- consolidate shade planting to edges of plaza
- seating should only be located around the perimeter out of the main paths of pedestrian movement
- maintain access for service vehicles.

### Area

2,000m<sup>2</sup>

### Status

To be dedicated to the Sydney Olympic Park Authority.

### Predominant uses

Casual and social spaces associated with the Sports and Education Precinct.

Pedestrian circulation to and around the venue.

Passive uses.

Venue patron handling.

### Planting

Large indigenous trees are to be used to border the plaza and extend the street tree planting.

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

Site identified for artwork.

Refer to the *Sydney Olympic Park Master Plan 2030 Urban Art Strategy*.

# Appendix B – New Public Spaces

## Landscape Corridor – Boundary Creek (18)

### Intent/Character

This open space has an ecological focus, a linear park, connecting the Southern Sports Precinct to the parklands. It will have a natural wetland and woodland character with native grasses and close canopy planting to create habitat. It provides off road cycle and pedestrian access to the parklands from the Town Centre. The landscape character should complement landscapes of the parklands.

### Guidelines

- consolidate planting around the creek edges to create a buffer between pedestrians, cyclists and waterbirds
- locate paths along main desire lines to connect with existing and proposed pedestrian/cycle paths.

### Area

7,500 m<sup>2</sup>

### Status

To be dedicated to the Sydney Olympic Park Authority.

### Predominant uses

Water treatment, habitat for waterbirds and other fauna, shared pedestrian/cycle path.

### Planting

Large and small indigenous trees, including characteristic wetland species such as *Melaleuca* and *Casuarina*.

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Provide lighting only to pedestrian and cycle paths. Protect areas of habitat from light spill.

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

No artwork is identified for this location.

# Appendix B – New Public Spaces

## Landscape Corridor – Parkview (19)

### Intent/Character

This open space has an ecological focus. It acts primarily as a water retention and quality control pond. It will have a natural wetland and woodland character with native grasses and close canopy planting to create habitat. It provides off road cycle and pedestrian access to the parklands from the Town Centre. There may be potential for discrete viewing platforms or bird hides to overlook the pond.

### Guidelines

- consolidate planting around the pond edges to create a buffer between pedestrians, cyclists and waterbirds
- locate paths along main desire lines to connect with existing and proposed pedestrian/cycle paths and bridges
- realign overhead bridge to connect to Bicentennial Park
- use appropriate planting to buffer adjacent residential buildings.

### Area

3,400m<sup>2</sup>

### Status

To be dedicated to the Sydney Olympic Park Authority.

### Predominant uses

Water treatment, habitat for waterbirds and other fauna, shared pedestrian/cycle path.

### Planting

Large and small indigenous trees, including characteristic wetland species such as *Melaleuca* and *Casuarina*.

Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008* for detailed tree selection.

### Furniture and lighting

Only provide lighting to pedestrian and cycle paths. Protect areas of habitat from light spill. Seating is not recommended in this park.

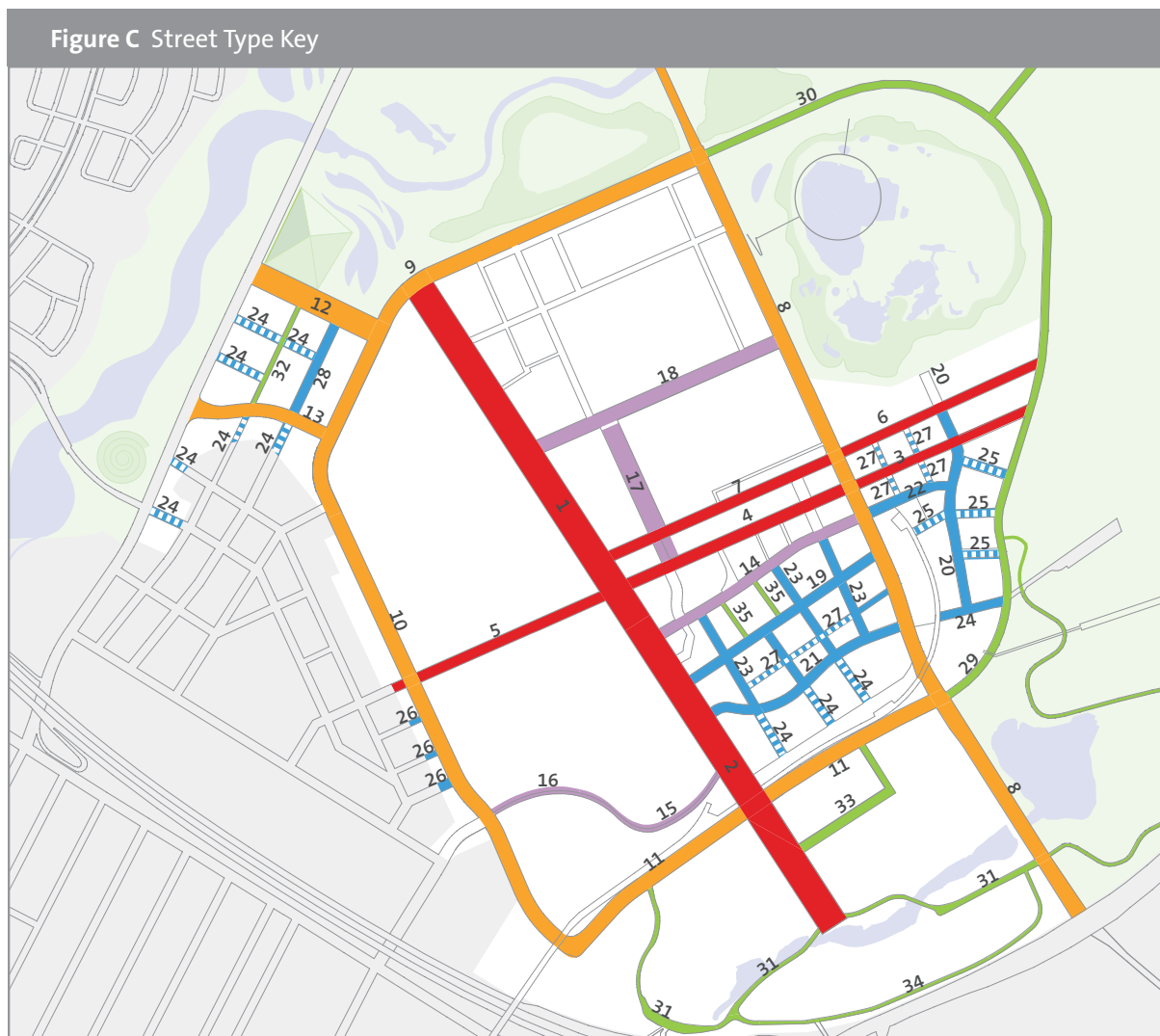
Refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

### Artworks

Site identified for artwork. Artwork should be integrated and related to the ecology of this setting.

Refer to the *Sydney Olympic Park Master Plan 2030 Urban Art Strategy*.

# Appendix C – Street Plans and Sections



Civic Streets	Perimeter Avenues	Town Streets	Local Streets	Park Edge Streets
<ul style="list-style-type: none"> <li>1 Olympic Boulevard (North)</li> <li>2 Olympic Boulevard (South)</li> <li>③ Dawn Fraser Avenue (East)</li> <li>4 Dawn Fraser Avenue (Central)</li> <li>5 Dawn Fraser Avenue (West)</li> <li>6 Murray Rose Avenue (East)</li> <li>7 Murray Rose Avenue (Central)</li> </ul>	<ul style="list-style-type: none"> <li>8 Australia Avenue</li> <li>9 Kevin Coombs Avenue</li> <li>10 Edwin Flack Avenue</li> <li>11 Sarah Durack Avenue</li> <li>12 Pondage Link</li> <li>13 Old Hill Road</li> </ul>	<ul style="list-style-type: none"> <li>14 Herb Elliott Avenue</li> <li>15 Shane Gould Avenue (East)</li> <li>16 Shane Gould Avenue (West)</li> <li>17 Showground Road</li> <li>18 Grand Parade</li> </ul>	<ul style="list-style-type: none"> <li>①⑨ Central Shopping Street</li> <li>②⑩ Median Street</li> <li>②⑪ Figtree Drive</li> <li>②⑫ Parkview Drive</li> <li>②⑬ North South Street</li> <li>②⑭ Verge Street</li> <li>②⑮ Shared Way</li> <li>②⑯ Service Street</li> <li>②⑰ Coach Parking Street</li> </ul>	<ul style="list-style-type: none"> <li>②⑲ Bennelong Parkway</li> <li>③⑩ Marjorie Jackson Parkway</li> <li>③⑪ Shirley Strickland Avenue</li> <li>③⑫ Park Edge Street Haslams</li> <li>③⑬ Park Edge Street Boundary Creek</li> <li>③⑭ Rod Laver Drive</li> <li>③⑮ Central Park Edge Street</li> </ul>
				<ul style="list-style-type: none"> <li> ICF Funded Streets</li> <li> Development Funded Streets</li> <li> New streets</li> </ul>

# Appendix C – Street Plans and Sections

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# Appendix C – Street Plans and Sections

## Street 1 Olympic Boulevard North

### Character

- This is one of seven Civic Streets, providing a monumentally scaled setting for the major venues. It connects iconic spaces, buildings, light towers and artworks from the Sydney 2000 Olympic and Paralympic Games.
- A driving lane on each side may be utilised in the future for a transit corridor.
- Continuous pedestrian access is to be provided.
- Provides for a future transit corridor.
- Provides activity along street frontages.
- Retains views of the Stadium building.

### Uses

- Functions as the principal public space during large scale events.
- During major events the northern end of Olympic Boulevard functions as an on street coach terminal.
- The western edge of Olympic Plaza is defined by buildings, the light towers and the major venues.
- The north eastern frontage has either a built edge with a ground floor, double height colonnade and active frontages or an open undercroft area that allows continuous pedestrian access between the street and venues. New development for entertainment and venue expansion uses.
- The south eastern frontage has a built edge for restaurant and pub uses as well as major public spaces – Cathy Freeman Park and the Station Forecourt.

### Height

- Infill development around the stadium in accordance with the building heights plan.
- Public space on ground level is created under buildings.

### Setback

- 5m on the western side of the Boulevard.

### Streetscape

- The street is 60m wide and incorporates some of the Olympic Plaza.
- Corridor incorporates an 18 m wide (six lanes) carriageway catering for two way traffic and provision for a future transit corridor.
- Parallel parking both sides and provision for future transit stops.
- The footpath is flush. Street edge is defined by removable bollards to allow the street to function as a level plaza during major events.
- Potentially large rainforest trees (*Ficus hillii*) provide shade and shelter along the eastern side.
- Double height active frontage along the street.

### Status

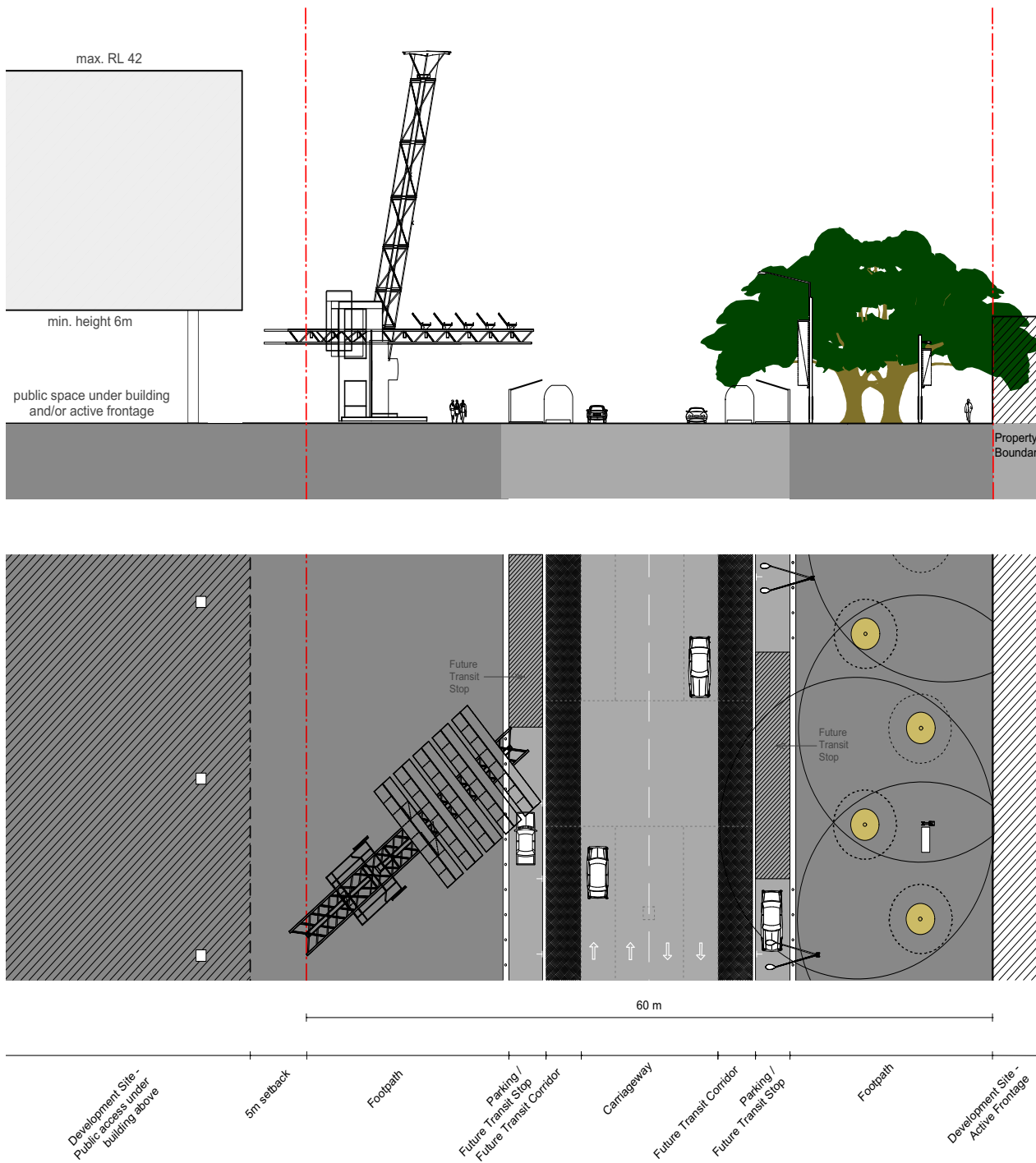
- Existing street.

For more information on public domain elements refer to the Sydney *Olympic Park Urban Elements Design Manual 2008*.



# Appendix C – Street Plans and Sections

**Figure C1** Olympic Boulevard North – Typical Section and Plan View North with Light Rail Corridor



# Appendix C – Street Plans and Sections

## Street 2 Olympic Boulevard South

### Character

- This is one of seven Civic Streets.
- Connects Fig Grove with the southern terminus, which frames the Tennis Centre.
- An axial boulevard, scaled to match the monumentality of the Olympic Boulevard North, but with a more conventionally defined street edge.
- Provides a high level of pedestrian amenity and active street frontages.
- Provides for a future transit corridor.

### Uses

- During major events the street functions as a primary pedestrian route.
- The eastern side has a regular built edge with a ground floor double height active frontage and double height colonnade (except for south of Sarah Durack Avenue as shown on Figure 4.2).
- Retail uses predominate interdispersed with commercial and residential lobbies (except south of Sarah Durack Avenue as shown in Figure 4.2).
- Retail and office uses predominate along the western frontages, interdispersed with sporting venue forecourts.

### Height

- The eastern side of the street will be well defined by a consistent wall of new eight storey podium buildings, including a double height active frontage with point towers up to 45 storeys high at intervals along the Boulevard.
- Double height active frontage.
- The western side of the street will retain a more open and mixed character, with maximum five storey high buildings, forecourts to sports venues.

### Setback

- No setback required.
- Double height colonnade.

### Streetscape

- A 60m wide street which includes four traffic lanes, two parking lanes, generous 12.5m wide footpaths and a median strip.
- Parallel parking both sides and provision for future transit stops.
- The wide footpaths and median allow an expansive five tree wide planting of *Araucaria cunninghamia*, across the street.
- Double height active frontage along the street.

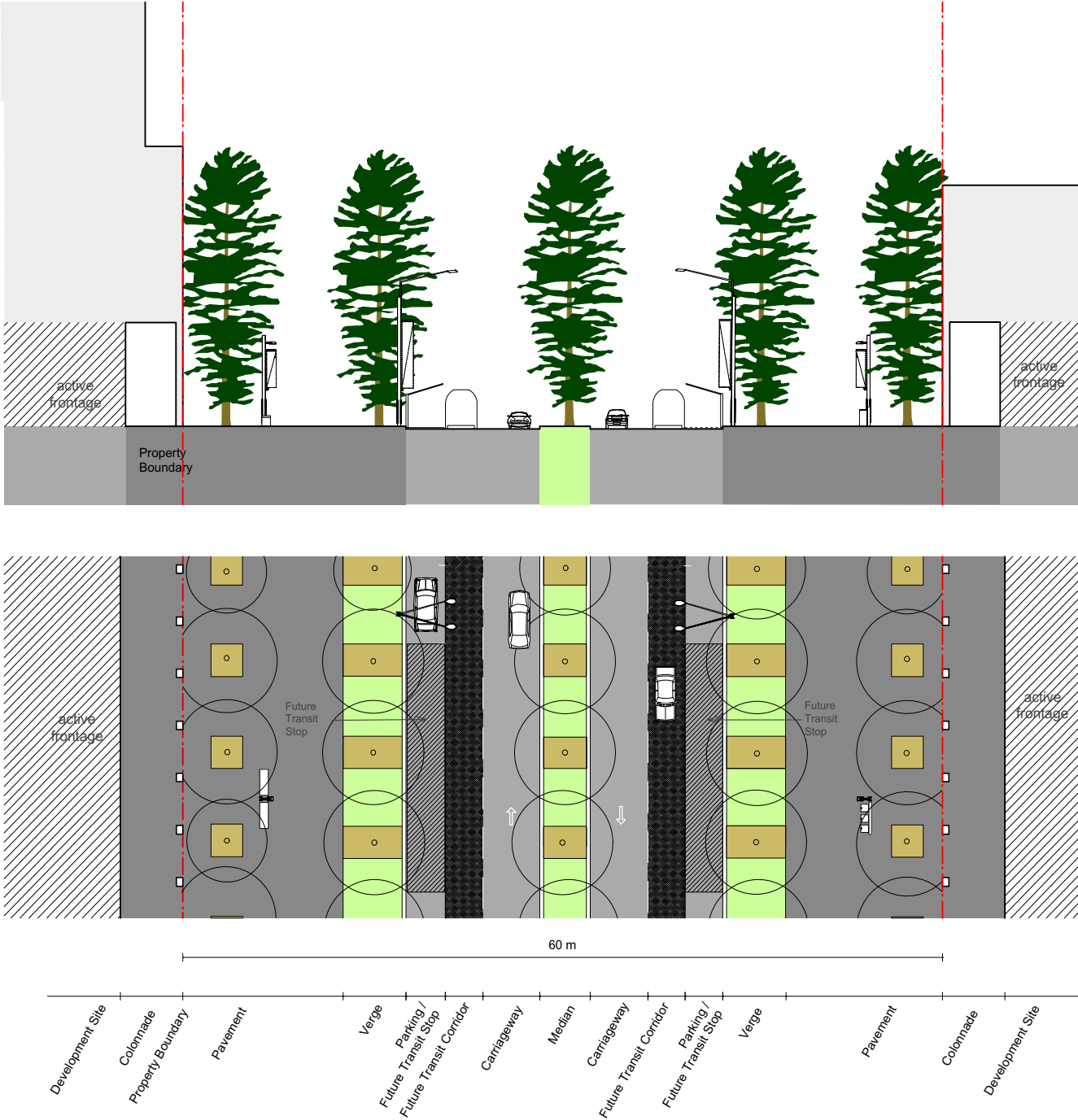
### Status

- Existing street.

For more information on design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

**Figure C2** Olympic Boulevard South – Typical Section and Plan View North with Future Light Rail Corridor



# Appendix C – Street Plans and Sections

## Street 3 Dawn Fraser Avenue East

### Character

- A new Civic Street which extends the existing Dawn Fraser Avenue to link to Bennelong Parkway, with a transition from commercial to residential street character.
- Frames and reveals views into the Badu Mangroves as the street descends the steep level change through the Parkview Precinct.

### Uses

- Commercial with ground floor retail to the western end.
- Residential uses to the eastern end.

### Height

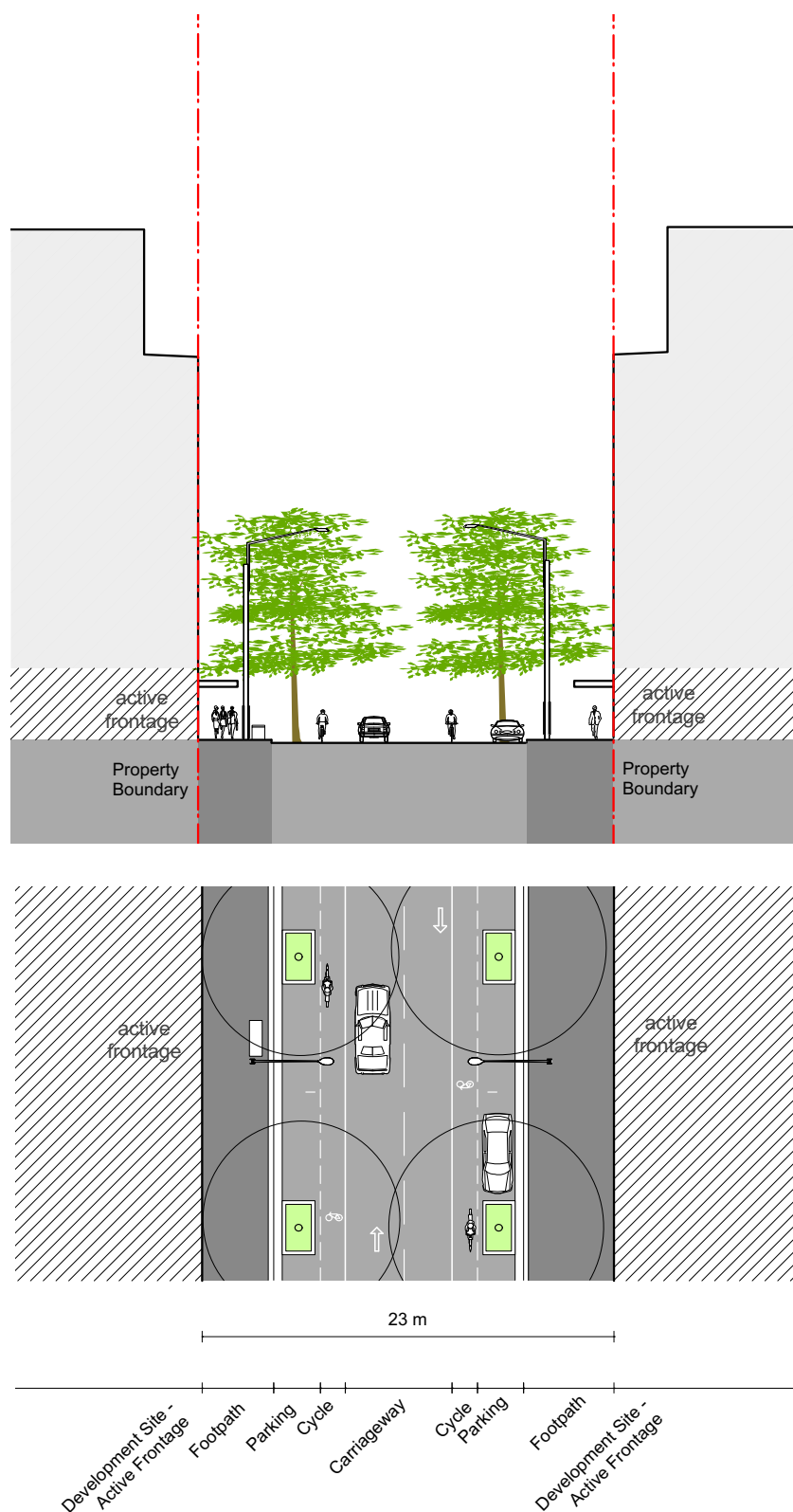
- The eastern side has a consistent built edge of five to eight storeys with an active frontage, stepping down to six storey towards Bennelong Parkway.
- The western end has a consistent built edge of five to eight storeys development, with point towers above, and an active frontage along the Australia Avenue.

### Setback

- No setback required – 90% build to line requirement.

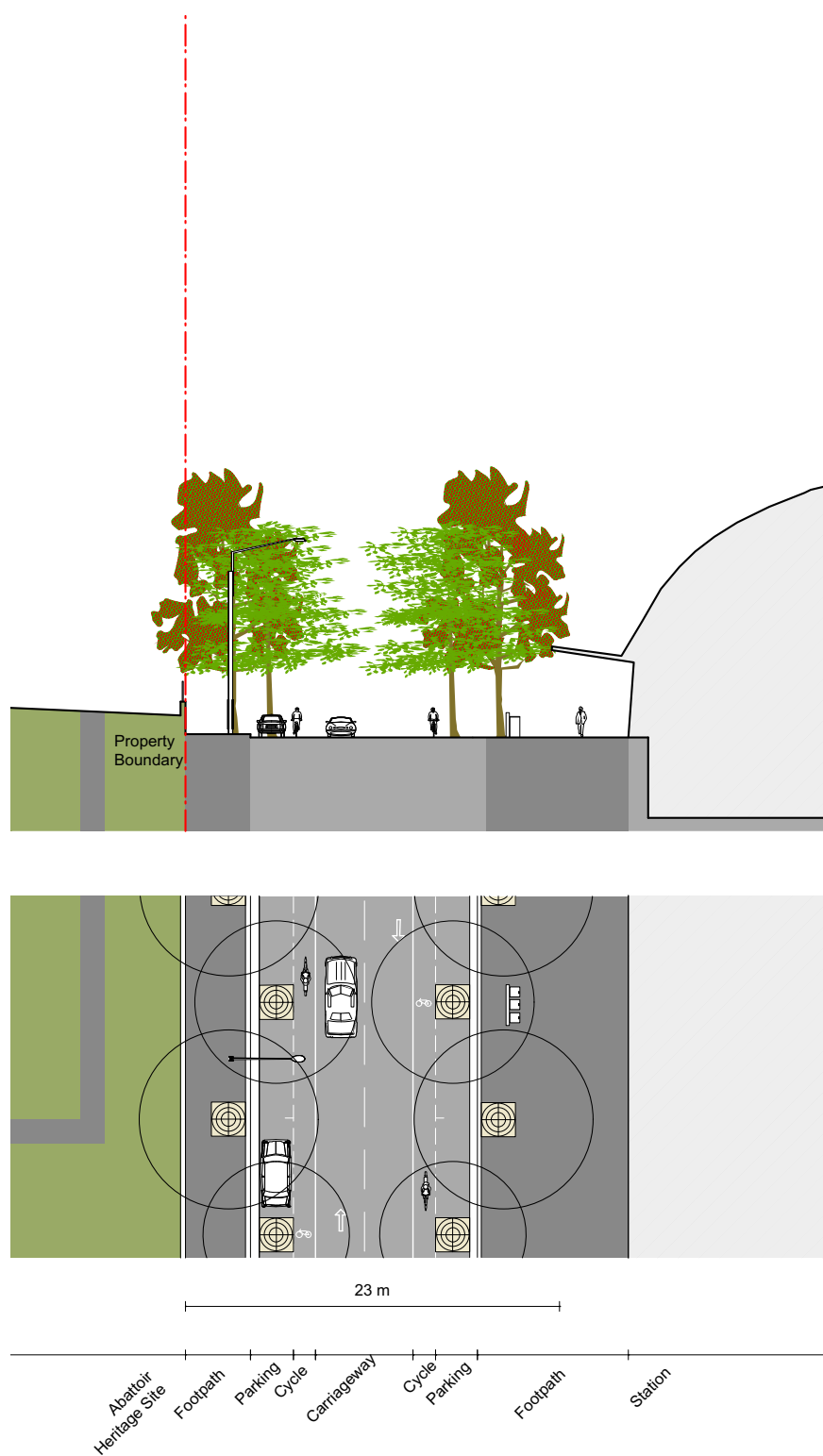
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C3 Dawn Fraser Avenue East – Typical Section and Plan View West through Commercial and Mixed Use Area



# Appendix C – Street Plans and Sections

**Figure C4** Dawn Fraser Avenue Central – Typical Section and Plan View West



## Street 4 Dawn Fraser Avenue Central

### Character

An existing Civic Street, this section of Dawn Fraser Avenue is both civic and commercial in character, with the railway station to the north and commercial buildings and the historic Abattoir Precinct to the south.

The street's northern edge merges with the precinct's main civic spaces, Station Square and Jacaranda Square.

The street forms the southern edge of the Town Centre's east-west corridor, with Murray Rose Avenue forming the northern edge. This is a major retail street.

### Uses

- Railway station, community, commercial and hotel.

### Height

- New buildings addressing the street are predominantly seven to eight storey, with continuous two storey ground floor colonnades. The northern side of the street is defined by the railway station and open space.

### Setback

- No setback required – 90% build to line requirement for the southern frontage.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 5 Dawn Fraser Avenue West

### Character

This Civic Street completes the western end of the east-west axis, linking Fig Grove and the Olympic Plaza with Edwin Flack Avenue. It is the major spine linking Carter Street Precinct to the Station.

The street is characterised by the contrast of the monumentally scaled stadium and surrounding plazas with campus style development opposite.

The southern edge is a gateway to the Central Sports Precinct, with breaks in the street frontage to provide glimpses of the iconic venues behind.

### Uses

- Venue/operational, commercial, educational and retail uses.
- The northern frontage will have a built edge with an undercroft area that allows pedestrian access to the stadium entries and a range of event based activities.

### Height

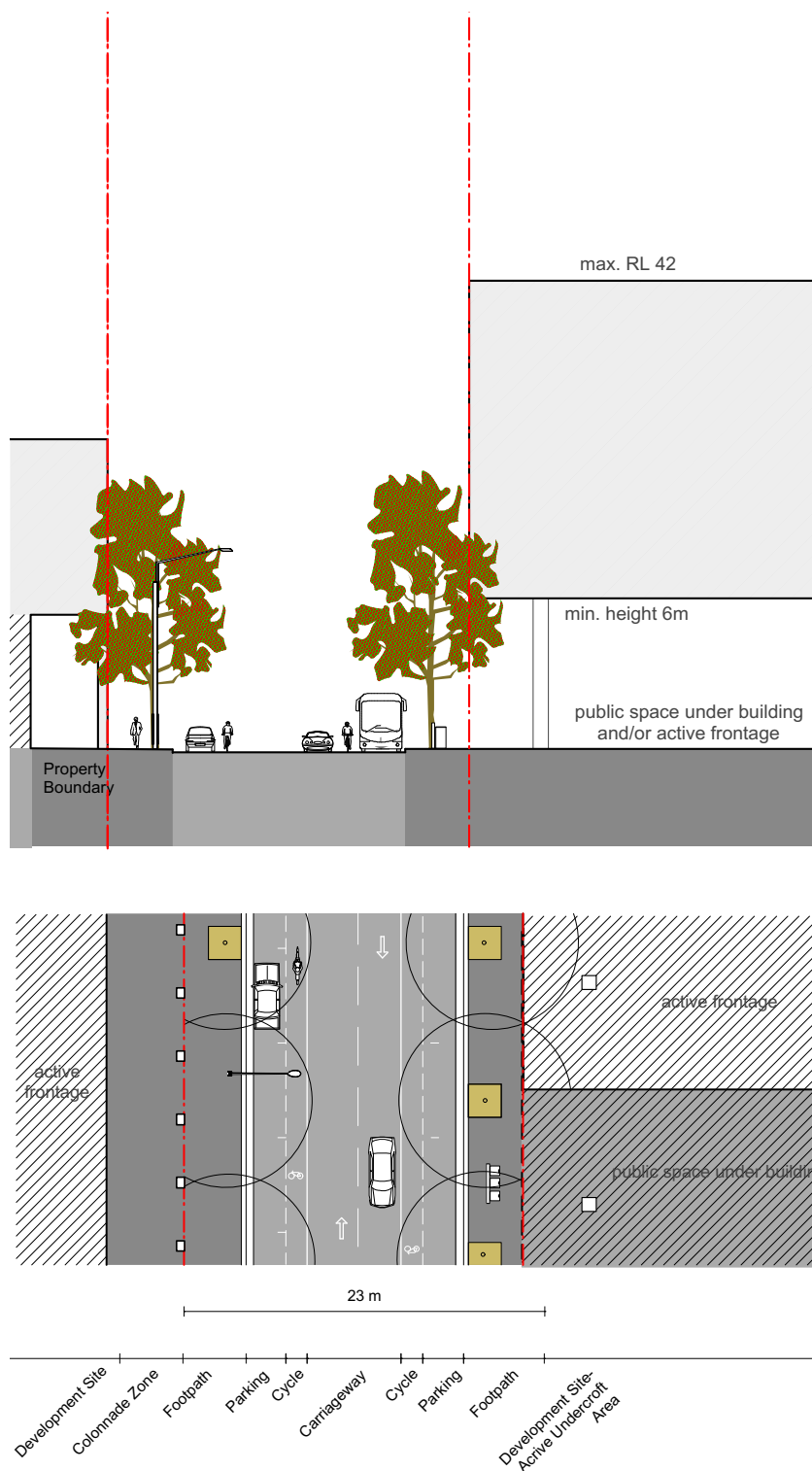
- The southern side will have a consistent street wall of six storey buildings with two storey colonnade.
- Double height active frontage encouraged.
- The northern side forms the setting for the Stadium.

### Setback

- No setback required – 90% build to line requirement.

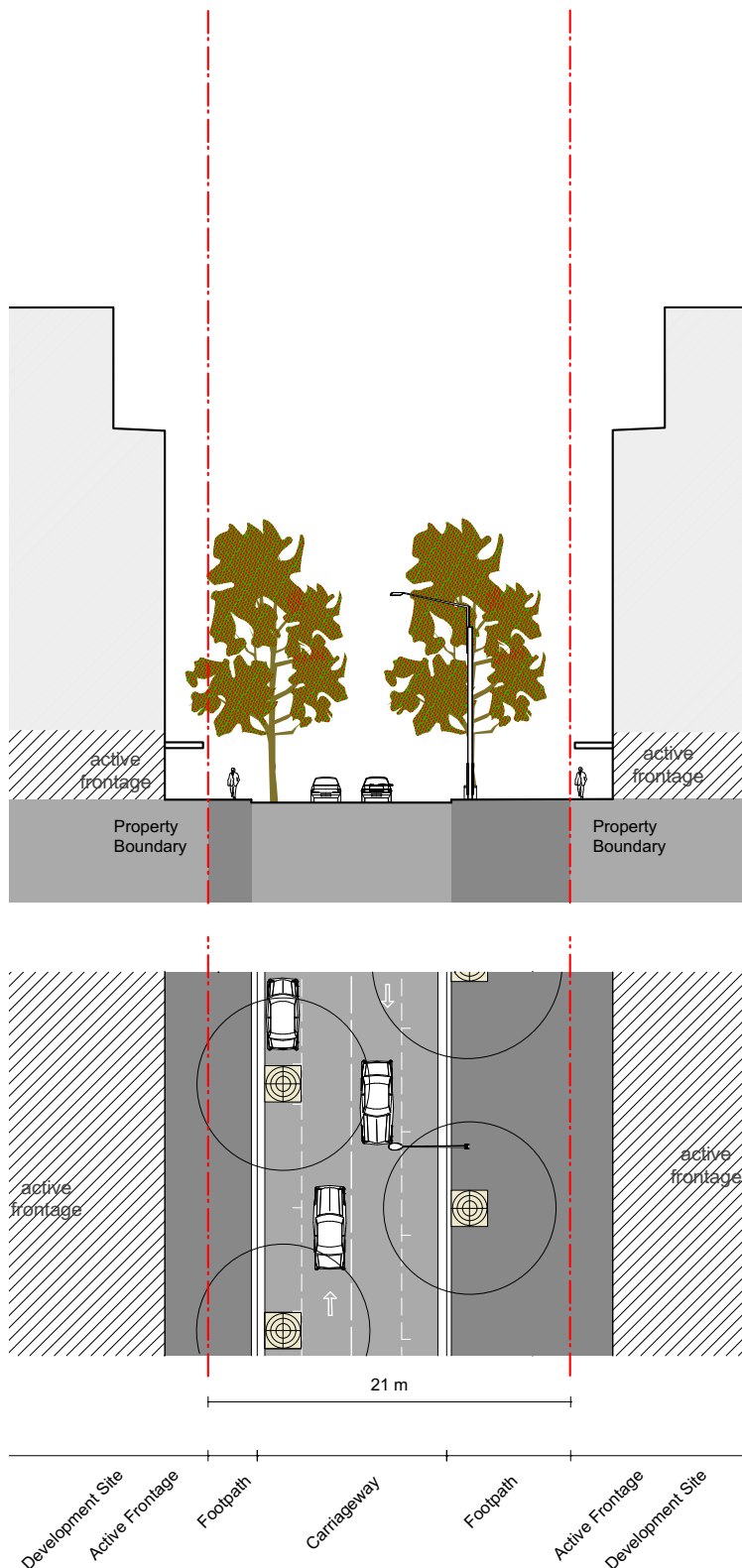
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

**Figure C5** Dawn Fraser Avenue West – Typical Section and Plan View West



# Appendix C – Street Plans and Sections

**Figure C6** Murray Rose Avenue East – Typical Section and Plan View East



## Street 6 Murray Rose Avenue East

### Character

An existing Civic Street which extends the existing Murray Rose Avenue to link to Bennelong Parkway, with transition from community to commercial and residential street character.

The street follows the alignment of former Barnes Road, preserving the original character and its edge of established trees, and with extensive views of the Brickpit Precinct to the north.

Beyond is denser, with commercial and residential development that defines the street corridor and frames views of Badu Mangroves.

### Uses

- Open car parking, occasional carnival use.
- Community, commercial and residential.

### Height

- Generally a five to eight base, with active frontages and awnings with 30 storey point towers above towards Australia Avenue, transitioning down to 15 storey point towers above a 6 storey base towards the parklands.

### Setback

- 2.5m to protect existing mature trees

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.



# Appendix C – Street Plans and Sections

## Street 7 Murray Rose Avenue Central

### Character

This existing Civic Street mirrors Dawn Fraser Avenue to the south, being both civic and commercial in character.

The street forms the northern edge of the east-west corridor through the centre and combines Sydney Showground buildings with commercial office development.

The southern edge of the street provides a frontage for the railway station and merges with the precinct's main civic spaces, Station Square and Jacaranda Square. It will also contact with Dawn Fraser Avenue via pedestrian access through the station.

### Uses

- Railway station, venue/operational and commercial.

### Height

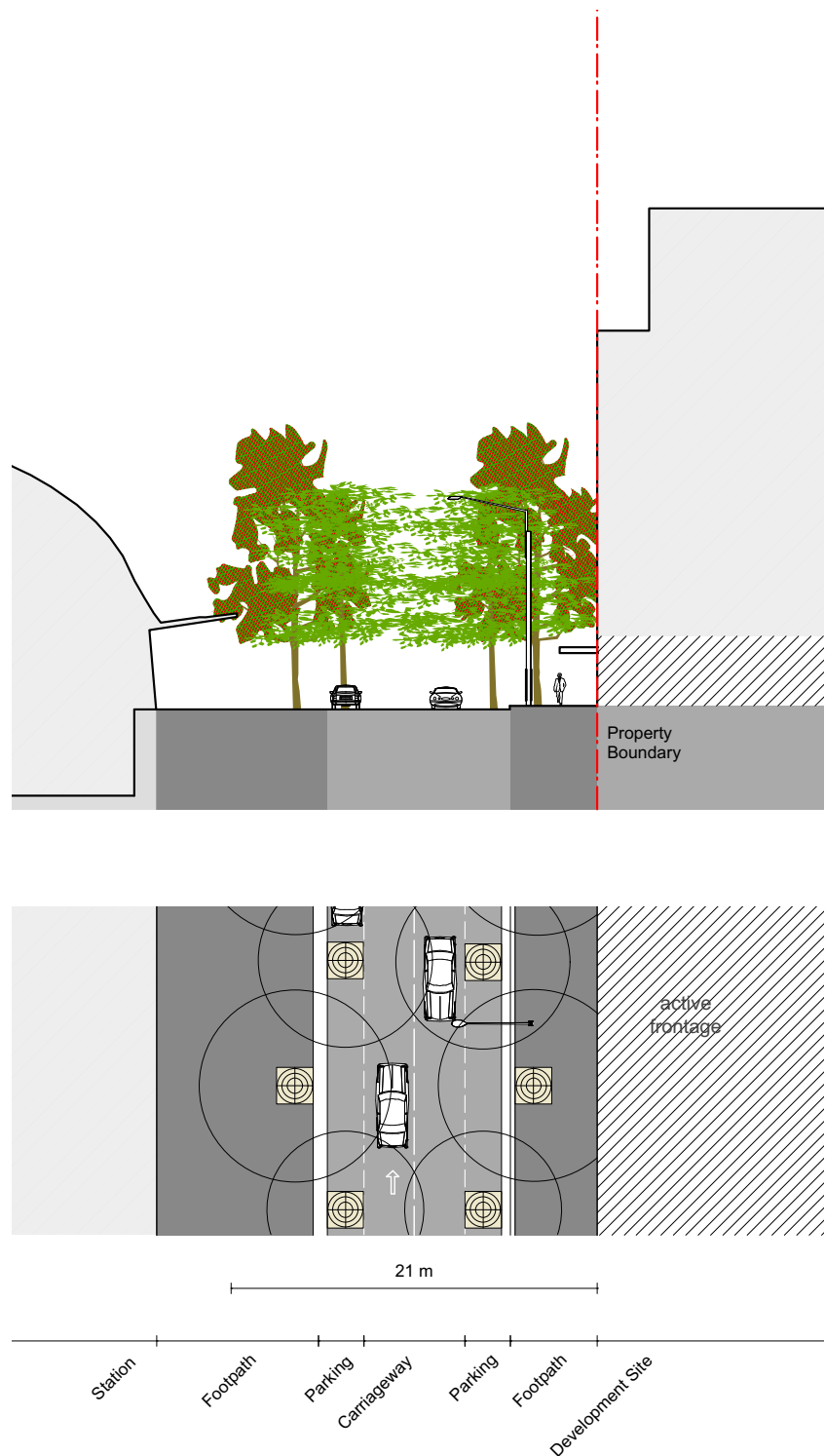
- The northern frontage is defined by a consistent four to six storey edge with a street level awning. The southern side of the street is defined by the railway station and open space.

### Setback

- No setback required – 90% build to line requirement.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

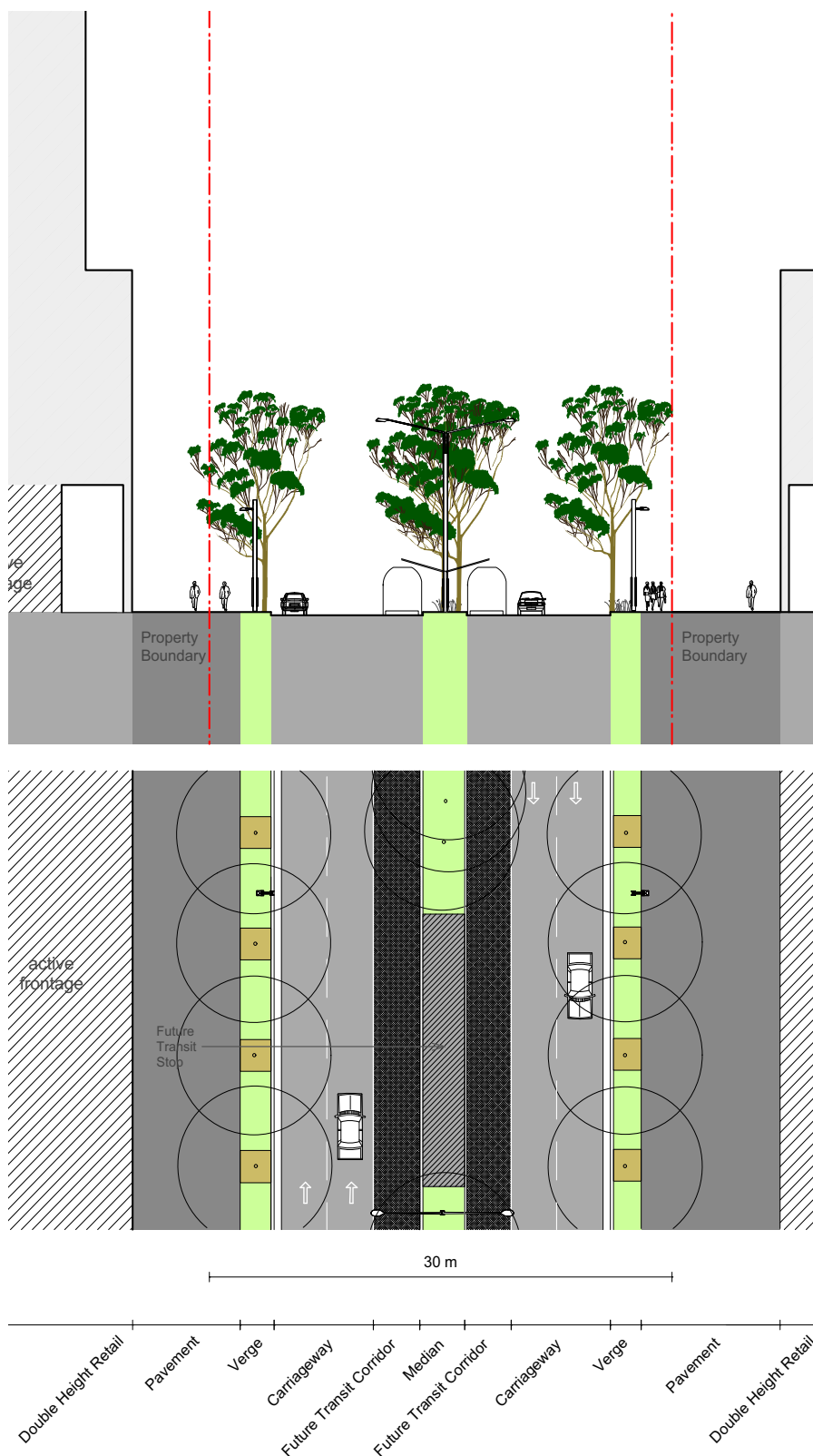
Figure C7 Murray Rose Avenue Central – Typical Section and Plan View West





# Appendix C – Street Plans and Sections

**Figure C8** Australia Avenue - Typical Section and Plan View  
Central and Future Transit Corridor



## Street 8 Australia Avenue

### Character

This Perimeter Avenue is a major corridor that forms the southern gateway to the Town Centre.

Consistent street tree planting ensures a unified character as the street passes through a changing context of medium to high rise residential and commercial frontages, parklands and reconstructed industrial landscapes.

The street includes iconic landscape features such as the Brickpit and the Bicentennial Marker.

Rail and pedestrian/cycle overpasses mark changes in gradient and shifts in street character.

### Uses

- Car parking, venue/operational, community, commercial and residential, potential future transit corridor.

### Height

- Five to eight storey block edge development, open forecourts with 30 storey point towers, above and retail frontages with awnings.
- Double height active frontage encouraged.

### Setback

- 3m along the western side – 90% build to line at points along the central section.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 9 Kevin Coombs Avenue

### Character

A Perimeter Avenue that marks the northern edge of the Town Centre, with the walled edges of the Sydney Showground Precinct to the south contrasting with the reconstructed parklands to the north.

The avenue is characterised by generously planted median strip and verges, opening onto a paved terrain at its western end, which marks the intersection with the northern end of Olympic Boulevard and the Northern Water Feature.

### Uses

- Venue/operational, venue expansion and parklands.

### Height

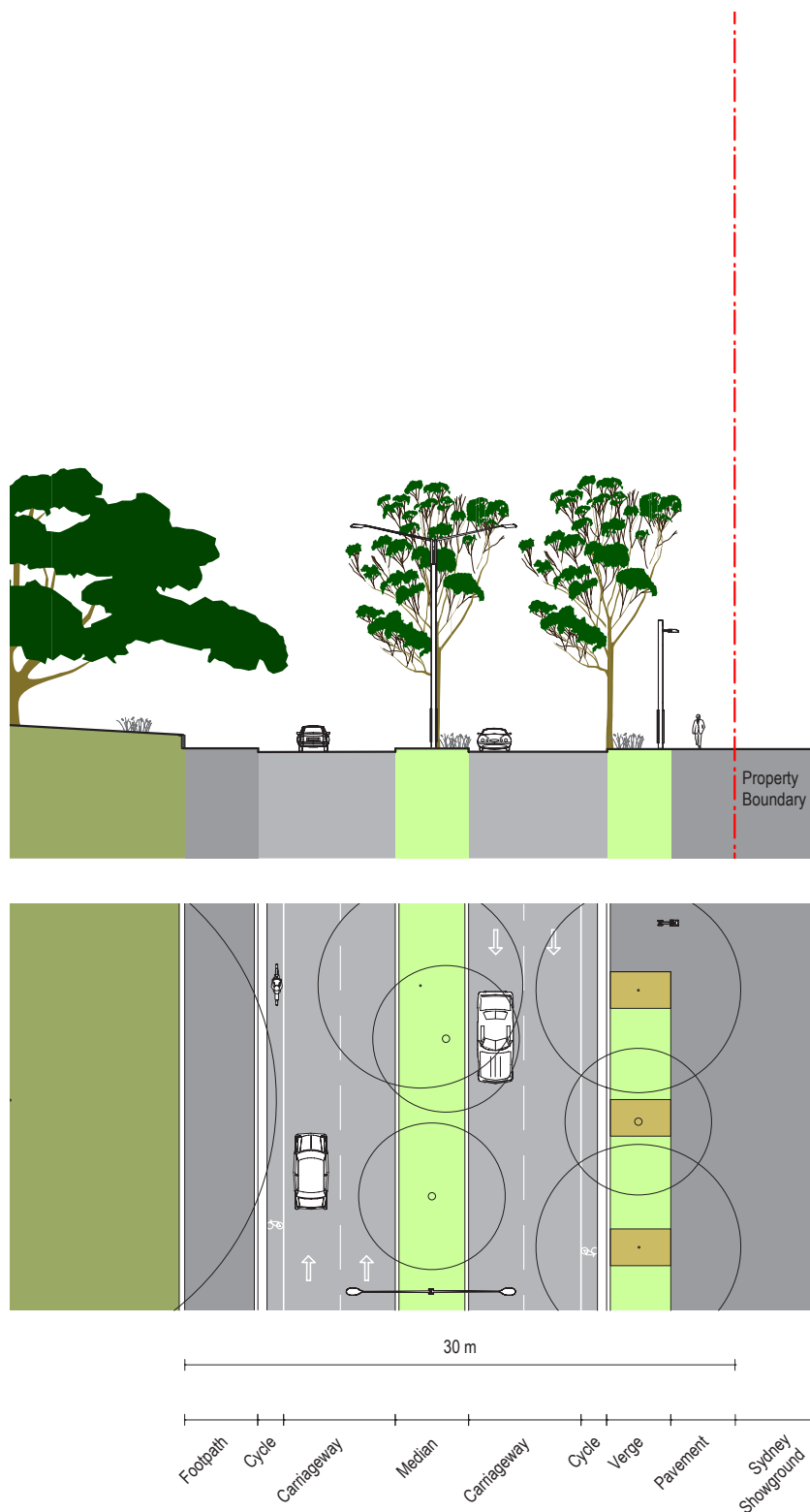
- The northern frontage is open parklands with 4m high walls, fences and gateways along the southern frontage.

### Setback

- No setback required.

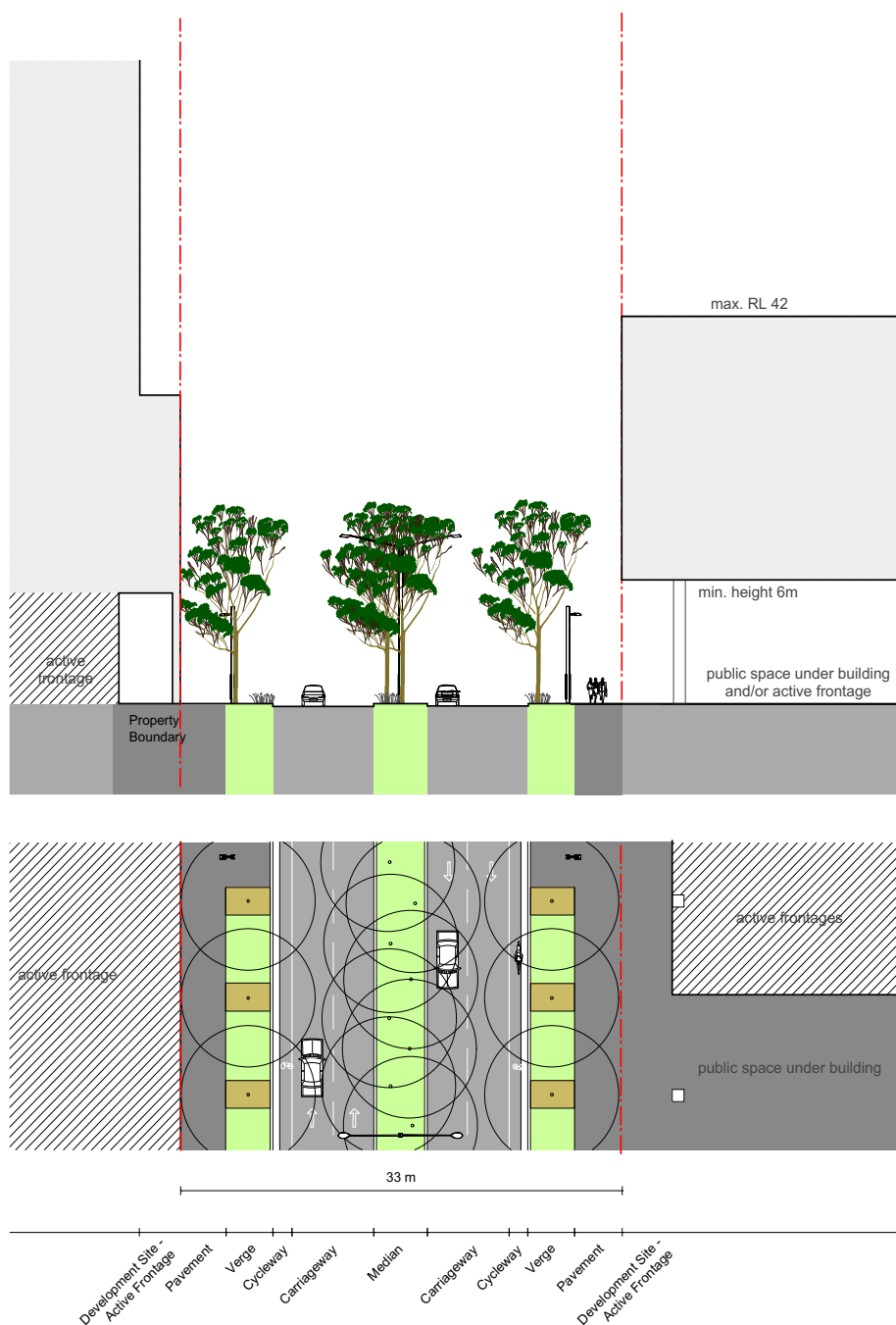
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C9 Kevin Coombs Avenue – Typical Section and Plan View East



# Appendix C – Street Plans and Sections

**Figure C10** Edwin Flack Avenue – Typical Section and Plan View North



## Street 10 Edwin Flack Avenue

### Character

A Perimeter Avenue that forms the western arm of the Loop Road and marks the edge of the Town Centre.

A strong and consistent landscape edge unifies diverse use, height and setback conditions.

Characterised by the monumental scale of the stadium, venue forecourts and street defining development around the stadium.

New development reinforces key intersections with Dawn Fraser Avenue and Shane Gould Avenue.

### Uses

- Venue/operational, venue expansion, educational, commercial, visitor and temporary accommodation.

### Height

- Western side: block edge form with point towers above.
- Eastern side: forms the setting for the Stadium.

### Setback

- No setback required – 90% build to line varies along the street.
- Double height active frontage along the street encouraged.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 11 Sarah Durack Avenue

### Character

This Perimeter Avenue forms the southern arm of the loop road and marks one of the 'green fingers' that cross the Olympic Axis and connect to the parklands.

The street has a strong and consistent landscape edge flanked by the railway structure and adjoining linear park.

Corner development at the intersection with Olympic Boulevard has a strongly defined urban character. Uses include car parking, rail corridor, venue/operational, educational, medical, commercial and residential.

### Height

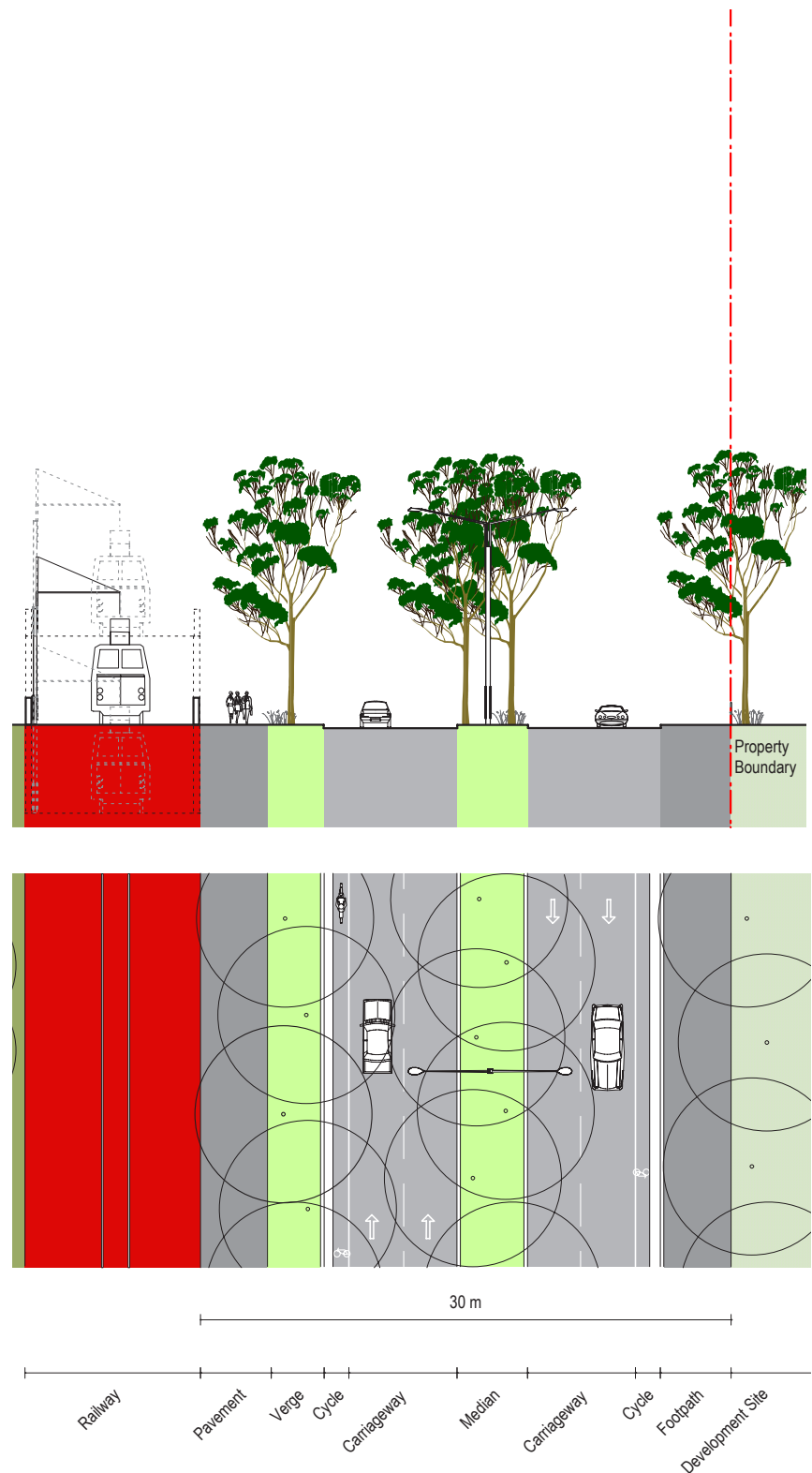
- The intersection of Sarah Durack Avenue and Olympic Boulevard is well defined by eight storey development with a double height retail / active frontages edge and colonnades at ground level.
- Point tower over an eight storey block edge base.

### Setback

- No setback required – 90% build to line varies along the street

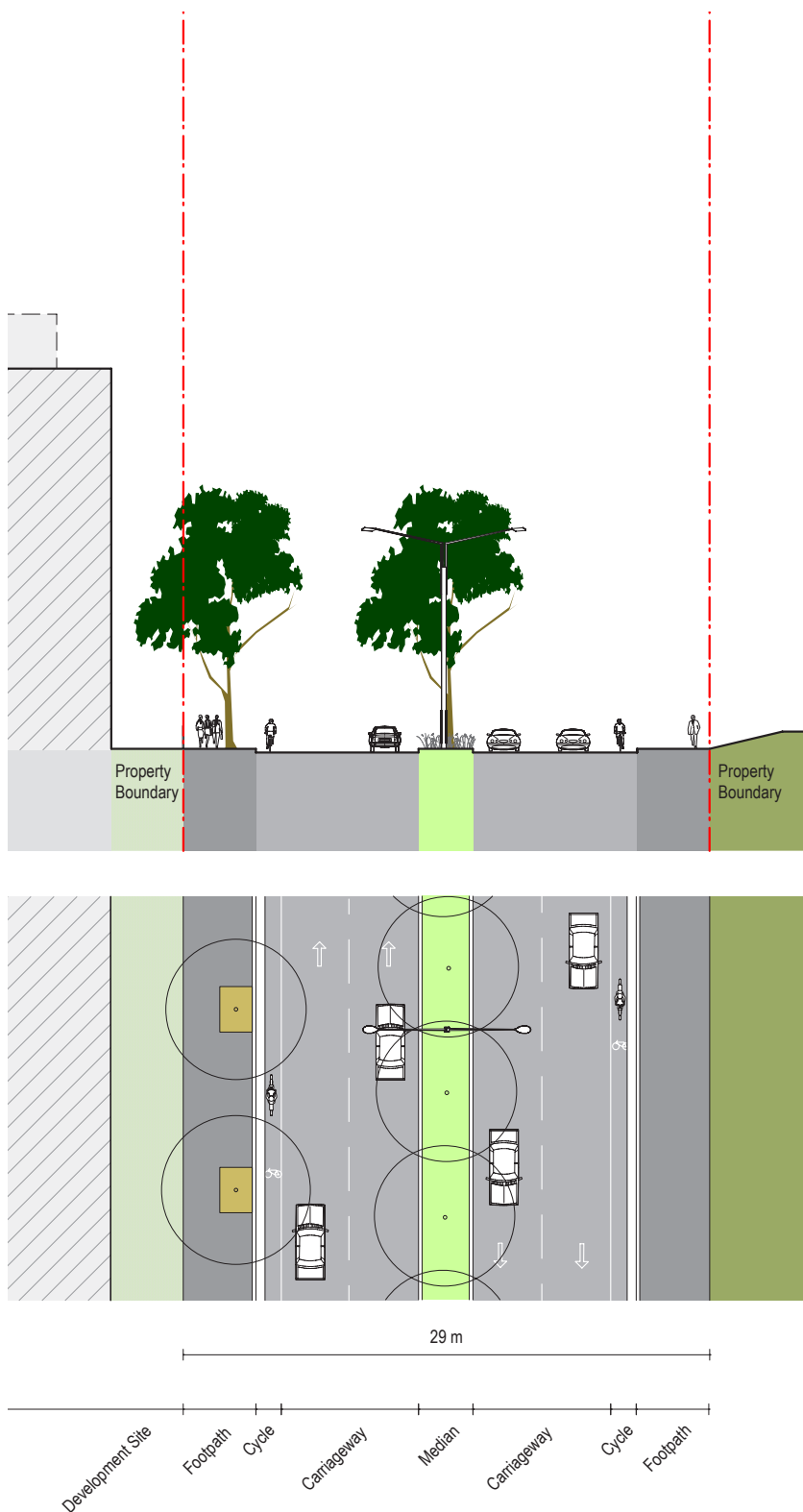
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C11 Sarah Durack Avenue – Typical Section and Plan View East



# Appendix C – Street Plans and Sections

Figure C12 Pondage Link – Typical Section View and Plan North West



## Street 12 Pondage Link

### Character

A Perimeter Avenue which is characterised by strong, distinctive landscape elements, such as the Northern Water Feature and the Pyramid Marker, contrasting with medium to high density commercial and residential development.

Sloping down from the northern end of Olympic Plaza, the street frames views of the Haslams Creek Flats to the north west.

### Uses

- Commercial and residential.

### Height

- Open space on the east with four and seven storey high buildings on the west.

### Setback

- 3 m setback along the southern footpath.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 13 Old Hill Road

### Character

A Perimeter Avenue characterised by medium to high density residential development to both street edges, and framing views of the Haslams Creek Marker. It provides the major events access to P1 carpark.

### Uses

- Commercial and residential.

### Height

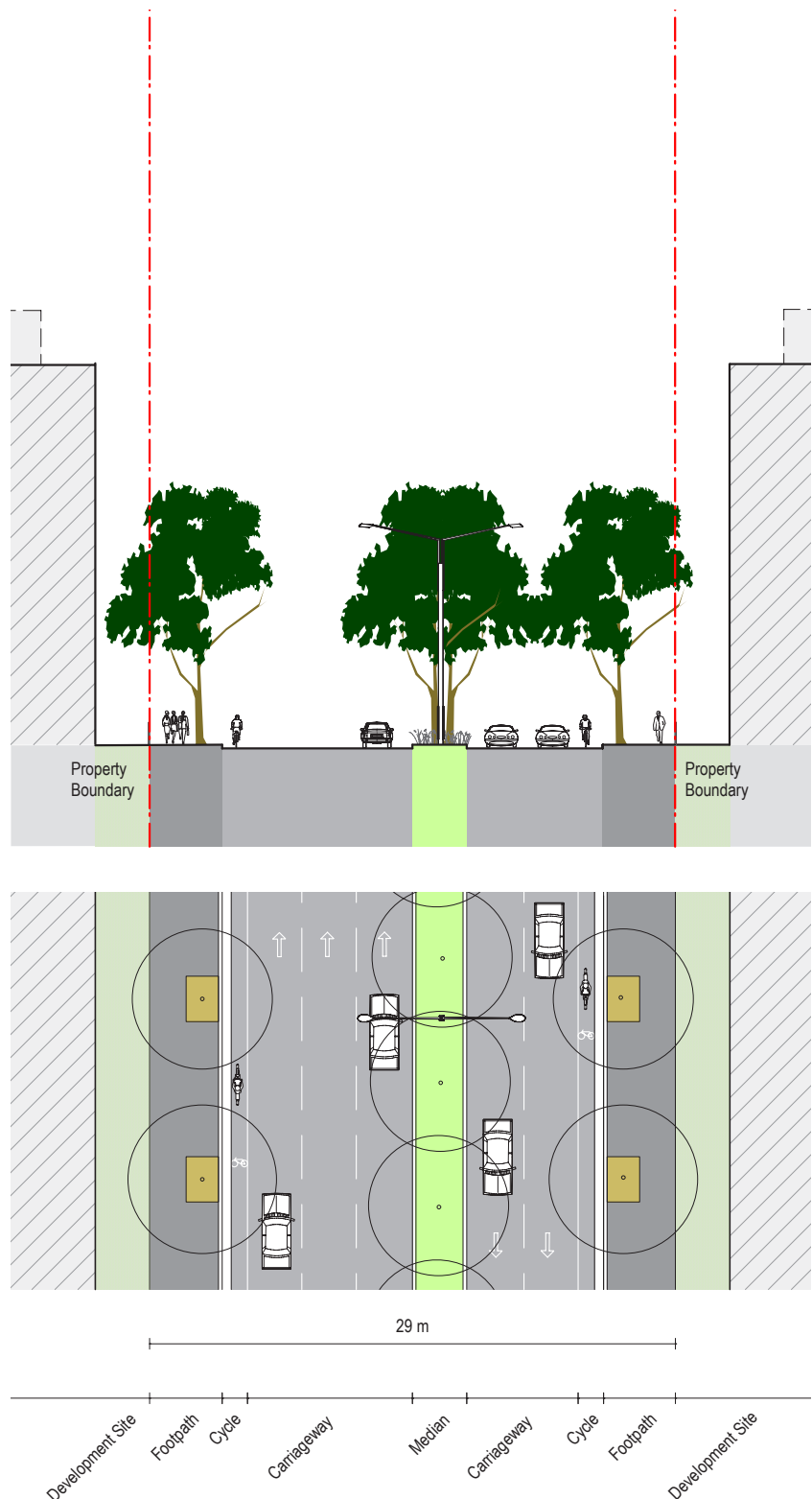
- The street adjoins six to seven storey, mainly residential, buildings on both sides.

### Setback

- 3 m front setback and 90% build to line requirement.

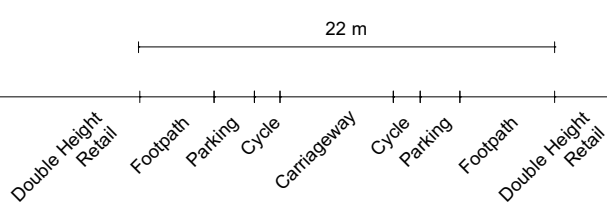
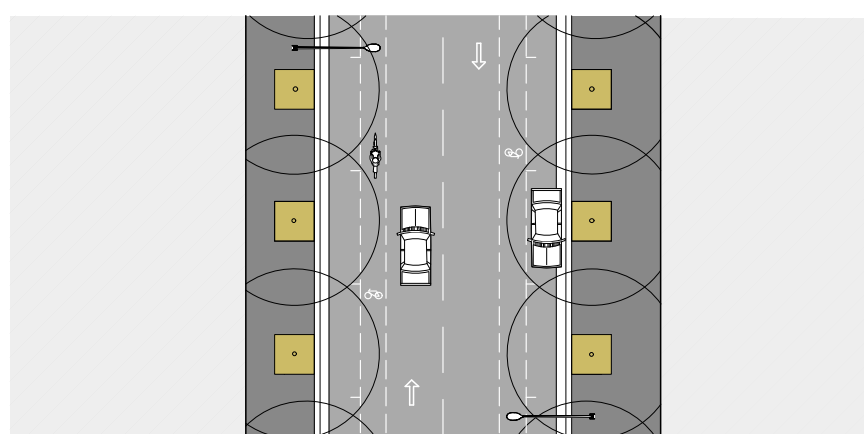
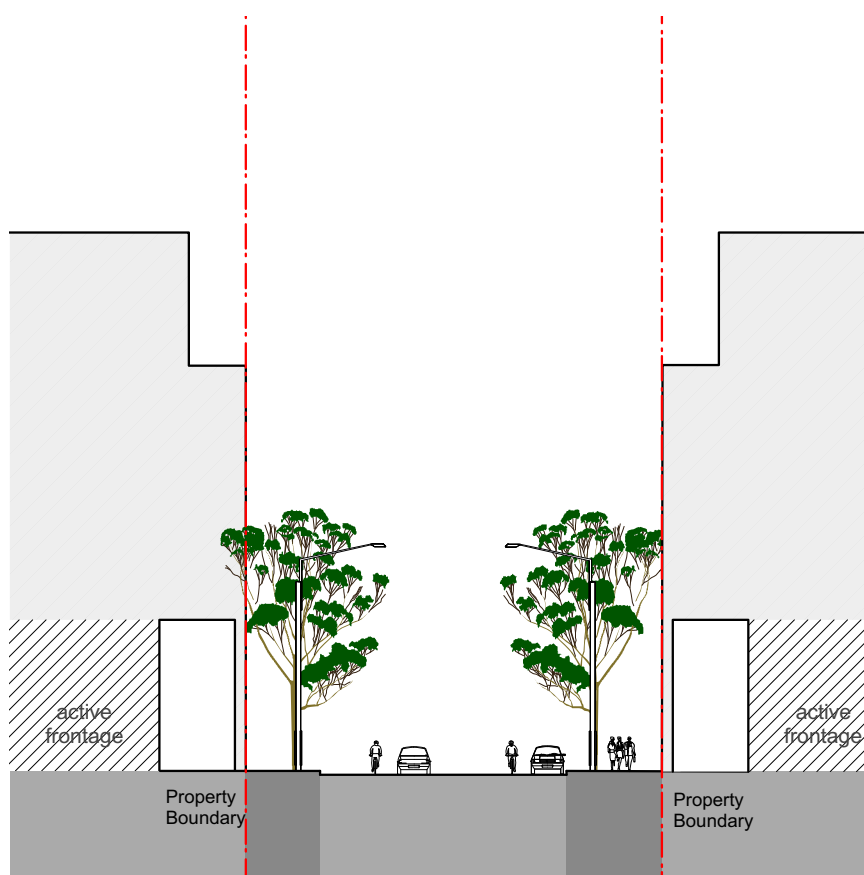
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C13 Old Hill Road – Typical Section and Plan View North



# Appendix C – Street Plans and Sections

Figure C14 Herb Elliott Avenue – Typical Section and Plan View East



## Street 14 Herb Elliott Avenue

### Character

An existing Town Street with continuous commercial and retail uses along both frontages, and with the historic Abattoir precinct also forming a part of the street edge.

This is one of the major retail streets with sheltered footpaths to promote pedestrian use.

### Uses

- Community, commercial, hotel and open space.

### Height

- The southern side is defined by five to eight storey commercial developments with the five to 18 storey hotel complex at the intersection with Olympic Boulevard. The northern side is predominantly eight storey commercial development with point towers along the eastern end, ground level retail and colonnade interspersed with open spaces, one to two storey Abattoir buildings.
- Double height active frontages encouraged.

### Setback

- No setback required – 90% build to line varies along the street.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 15 Shane Gould Avenue East

### Character

This Town Street is the main street in the Central Sports Precinct.

Although widened for additional 90 degree parking, the street retains its curved alignment and leads to a new Campus Green at the heart of the precinct.

A consistent landscaped edge unifies diverse uses, heights and setbacks of future commercial campus development and venue expansion.

### Uses

- Car parking, venue expansion and educational.

### Height

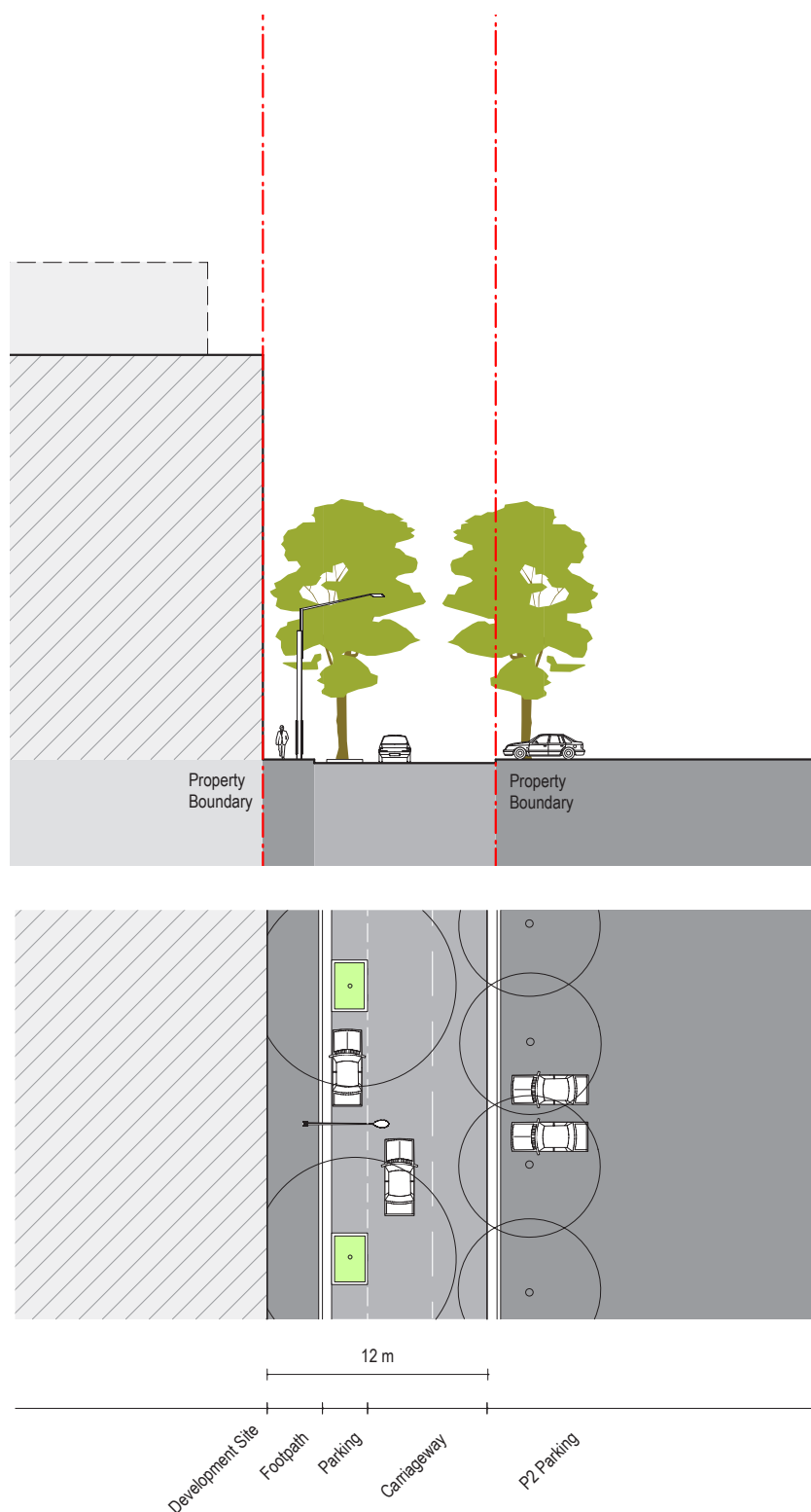
- Five to six storey education buildings along the southern side and car park to the north of the street.

### Setback

- Varied.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

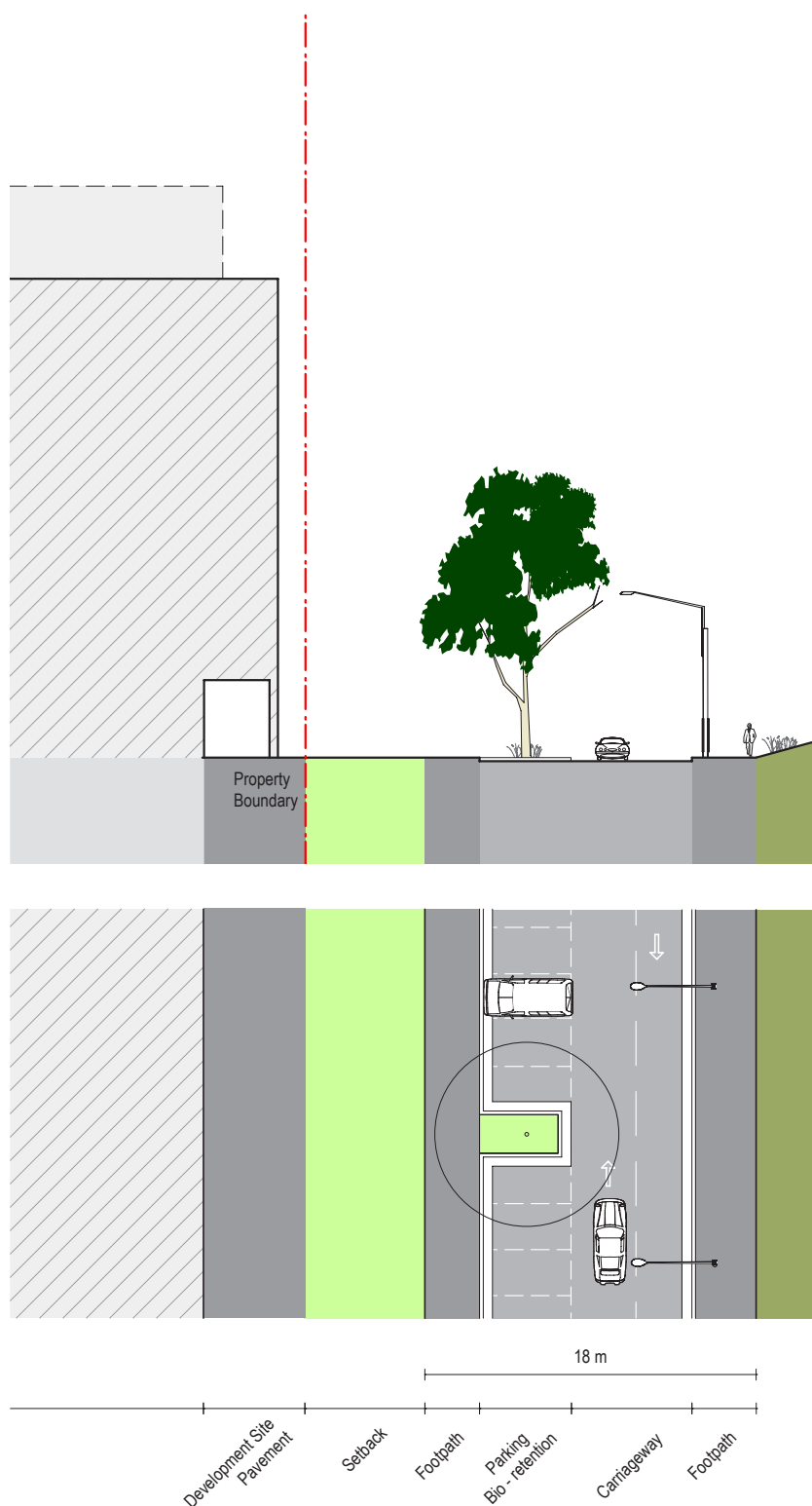
Figure C15 Shane Gould Avenue East – Typical Section and Plan View West





# Appendix C – Street Plans and Sections

**Figure C16** Shane Gould Avenue West – Typical Section and Plan View East



## Street 16 Shane Gould Avenue West

### Character

An existing Town Street, Shane Gould Avenue completes the main street within the Central Sport Precinct.

Shane Gould East is widened for additional 90 degree parking and retains its curved alignment.

It frames important views to the Aquatic Centre, the stadium and the Campus Green.

The street is characterised by campus buildings and landscaped areas. New development at the Edwin Flack Avenue intersection marks the western gateway into the precinct.

### Uses

- Venue expansion, venue operation, commercial and educational.

### Height

- Six storey education buildings to the north, open space to the south and four storey venue expansion building to the east.

### Setback

- No setback required – 90% build to line varies along the street.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 17 Showground Road

### Character

Showground Road is an existing Town Street and the main street in the Sydney Showground Precinct.

It has an open character with Overflow Park along the western side and a generous 24 m setback to the showground buildings along the eastern side which will become the major address point for an expanded exhibition facility.

### Uses

- Venue expansion, venue operation.

### Height

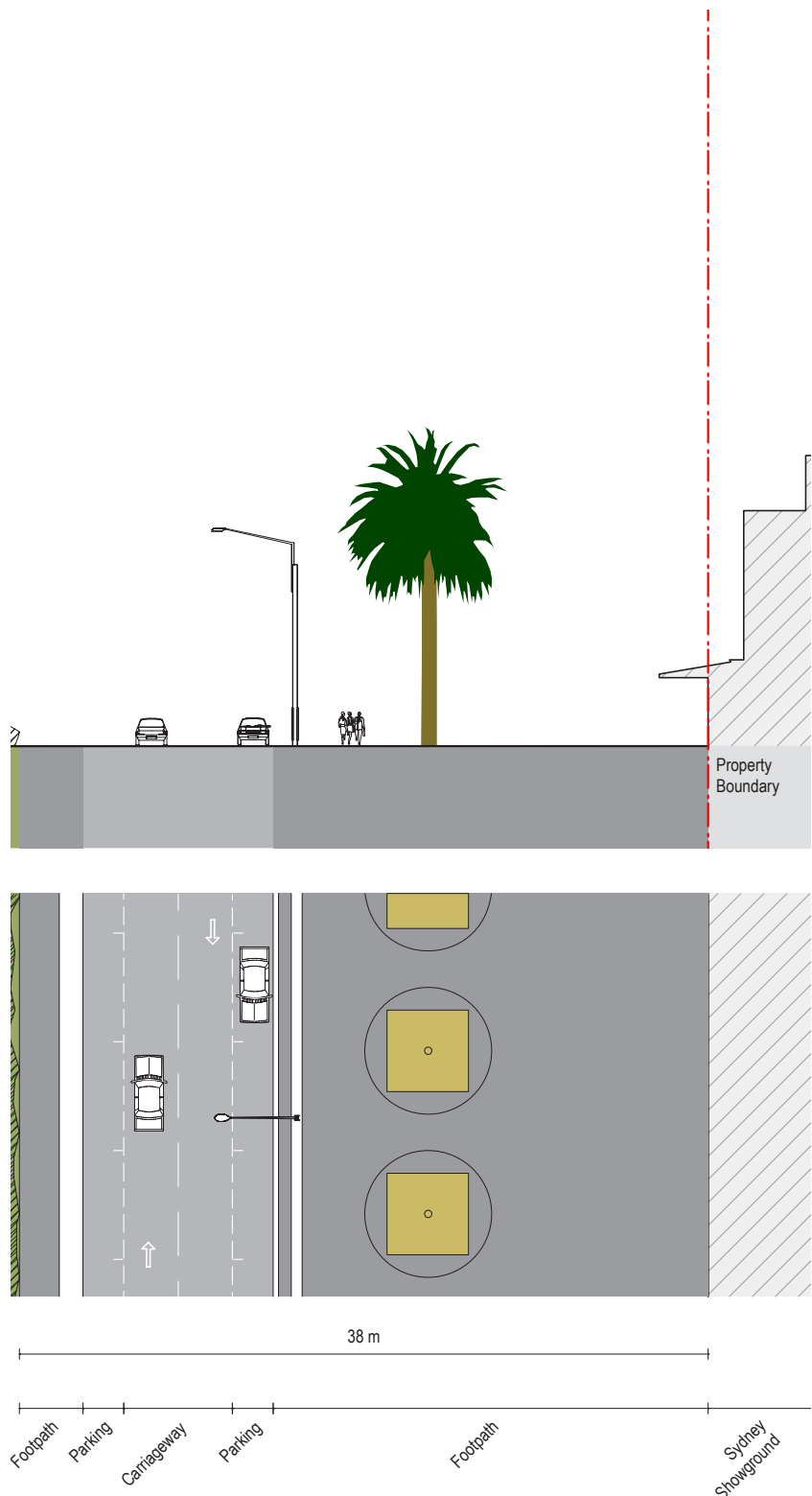
- The showground buildings, which include exhibition halls and administration uses, are 18 m high. Venue expansion preserves views of the Exhibition Centre dome.

### Setback

- No setback required – 90% build to line varies along the street.

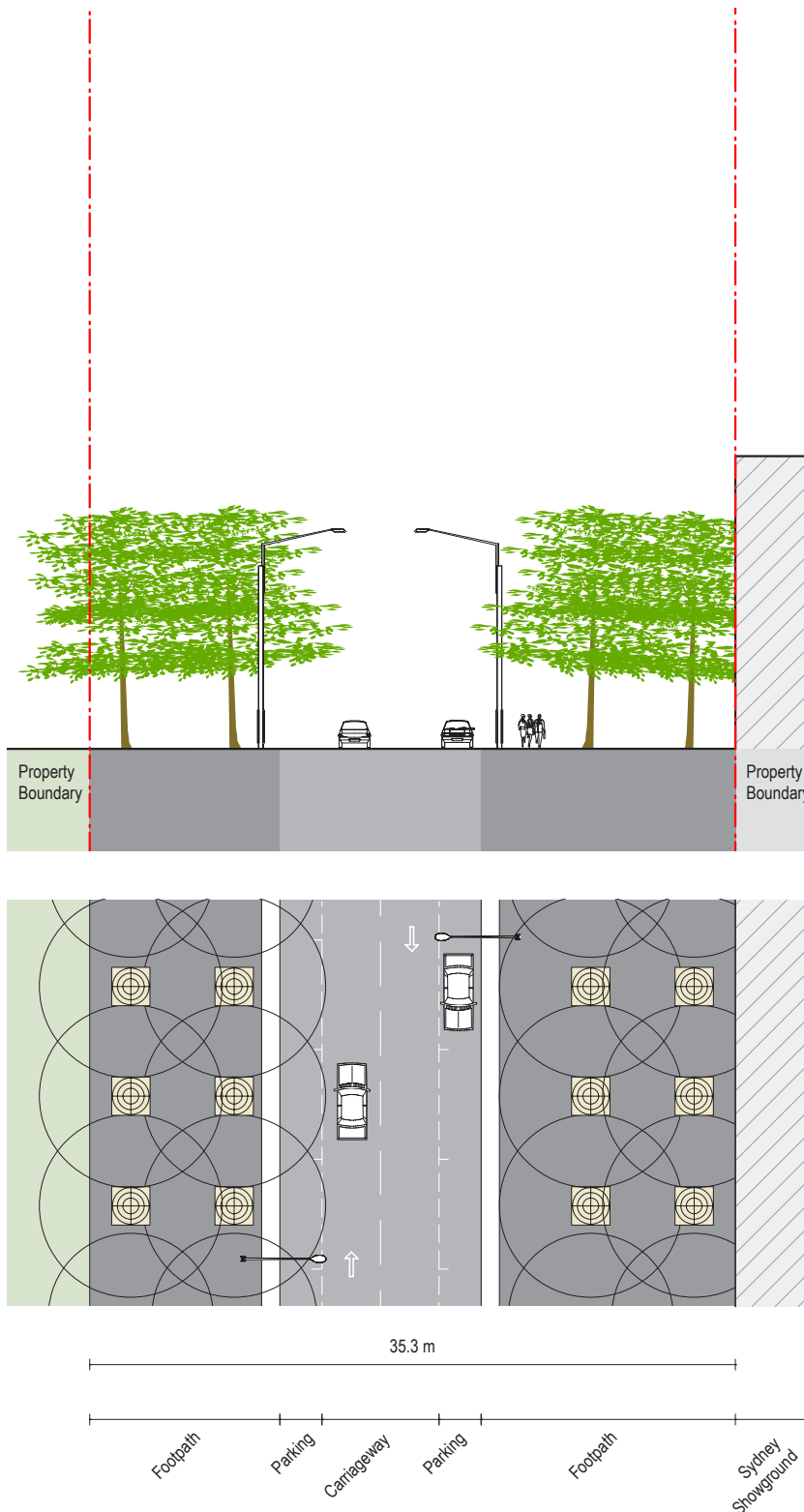
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C17 Showground Road – Typical Section and Plan View North



# Appendix C – Street Plans and Sections

Figure C18 Grand Parade – Typical Section and Plan View West



## Street 18 Grand Parade

### Character

Grand Parade is an existing Town Street in the Sydney Showground Precinct.

Its wide footpaths and landscaped setbacks will be activated by increased pedestrian use as the Sydney Showground's venues expand.

### Uses

- Venue operation and entertainment.

### Height

- Venue expansion matching the height of existing development preserves views of the Exhibition Centre dome.

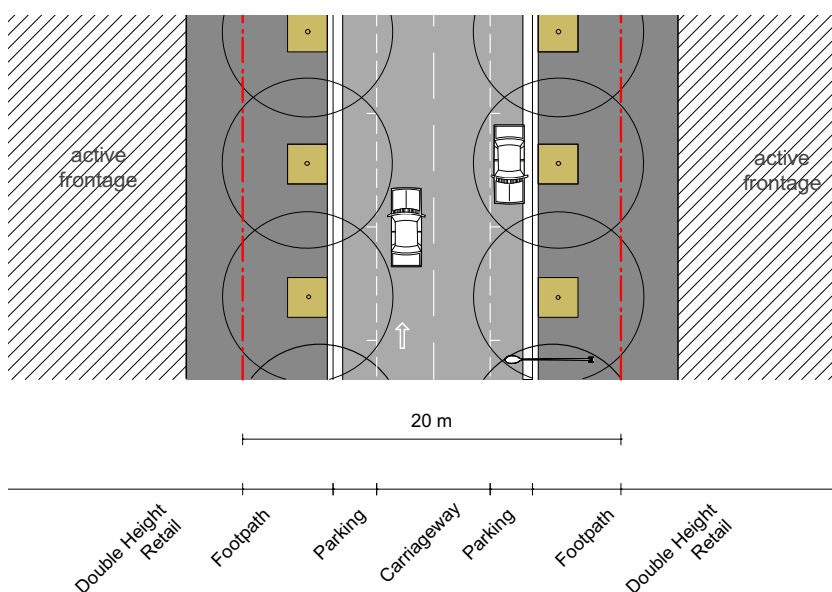
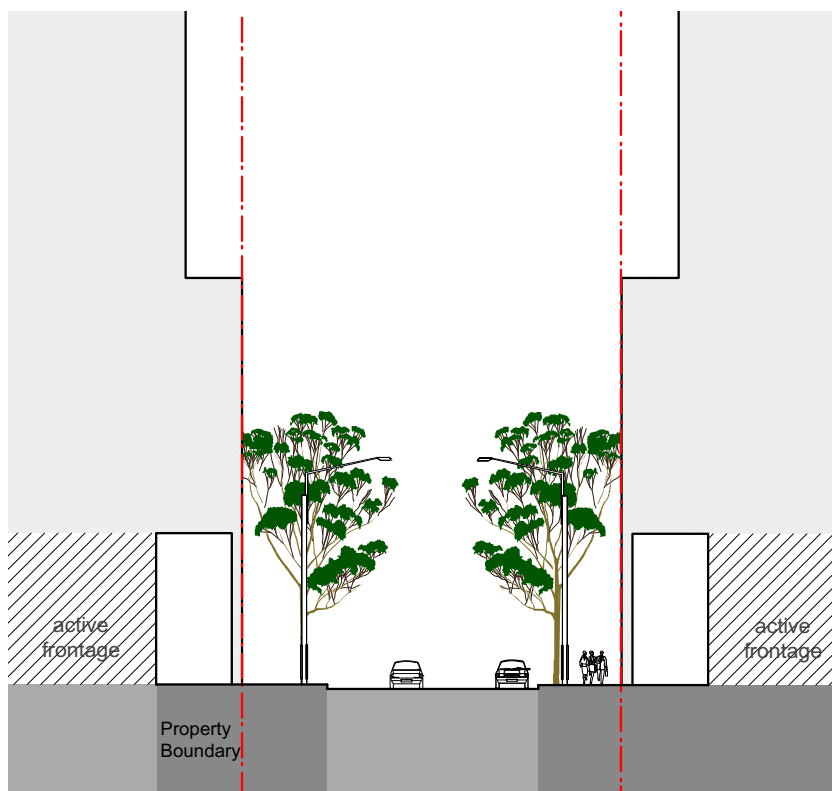
### Setback

- No setback required – 90% build to line varies along the street.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

**Figure C19** Central Shopping Street – Typical Section and Plan View East



## Street 19 Central Shopping Street

### Character

A new Local Street in the Central Precinct characterised by continuous commercial and retail uses.

This is a primary shopping street. The street edge incorporates setbacks to extend the footpath.

It frames important views to the Aquatic Centre's iconic structure and connects Olympic Boulevard to Australia Avenue.

### Uses

- Retail at street level, commercial and residential above.

### Height

- The street is defined by five to eight storey commercial buildings with double height colonnade and point towers on the eastern and western ends and on the southern side.
- Double height active frontage encouraged.

### Setback

- 3 m minimum setback on both sides.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 20 Median Street

### Character

While this Local Street is the main residential street in the Parkview Precinct, it has strong visual and physical connections to the parklands. The street leads from Brickpit Park down to the bridge connecting to Bicentennial Park. Its side streets frame glimpses of the parklands to the east.

The 3 m wide median/bio small accentuates the landscape character, affords a pleasant outlook from the overlooking apartment and collects and treats stormwater.

### Uses

- Commercial and residential.

### Height

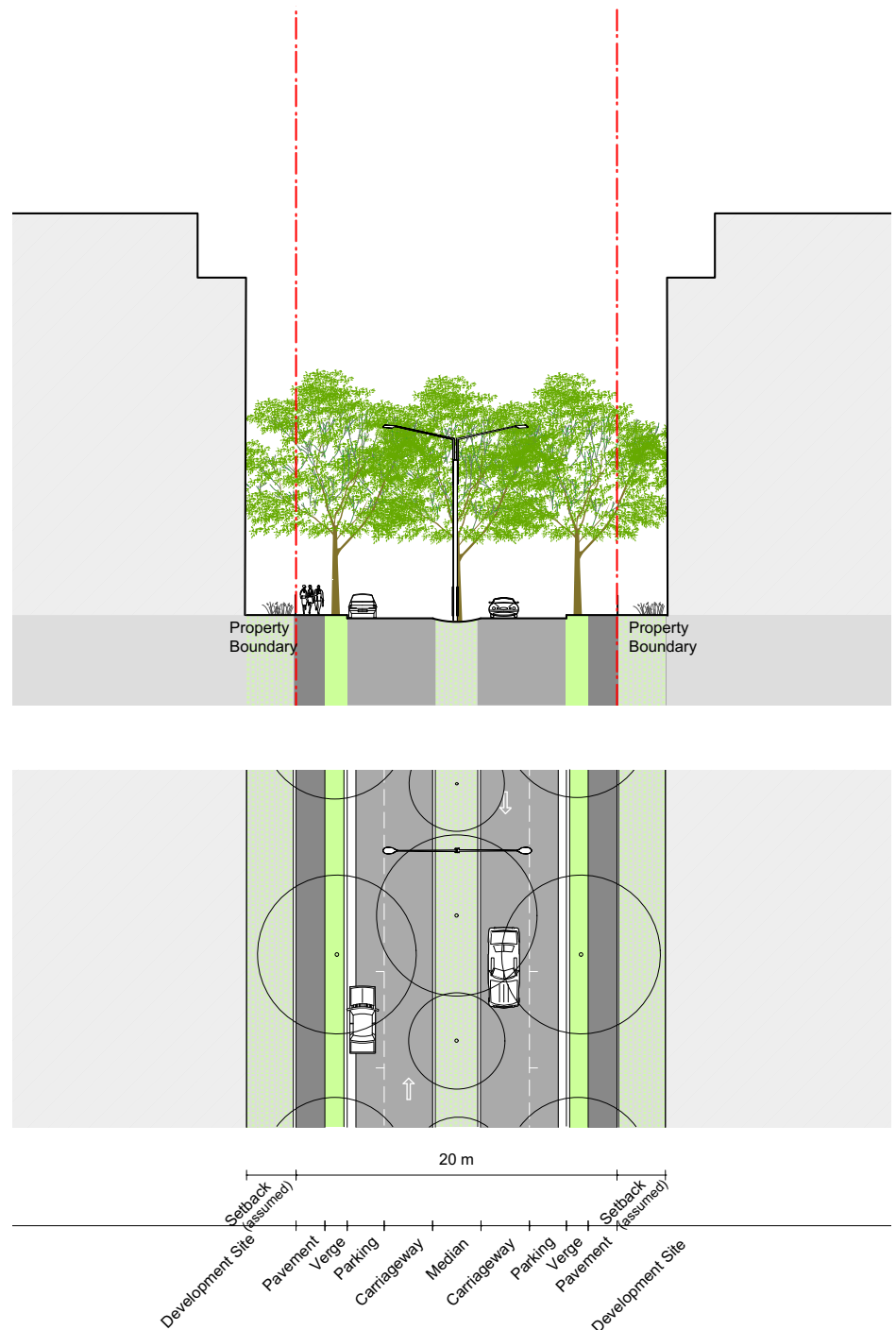
- The street is defined by 6 to 10 storey residential buildings to the south and eight storey commercial buildings to the north.

### Setback

- 5 m setback and 50% build to line.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C20 Median Street – Typical Section and Plan View North



# Appendix C – Street Plans and Sections

## Street 21 Figtree Drive

### Character

This Local Street was formerly part of the Australia Centre development.

Although widened, the street retains its curving alignment, generous verges and landscaped setbacks to reinforce the informal character of residential development. Setbacks are to be utilised as gardens for ground level dwellings.

Several new side streets provide access to the commercial precincts to the north and the new linear park to the south.

High rise development marks the intersection with Olympic Boulevard and Australia Avenue.

### Uses

- Generally residential.
- Mixed commercial and residential uses at the intersection with Olympic Boulevard and Australia Avenue.

### Height

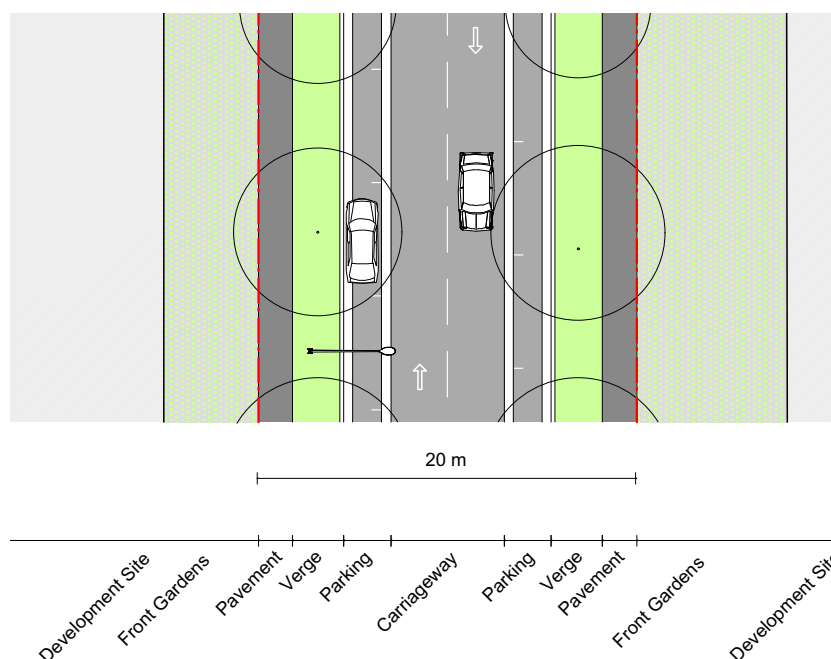
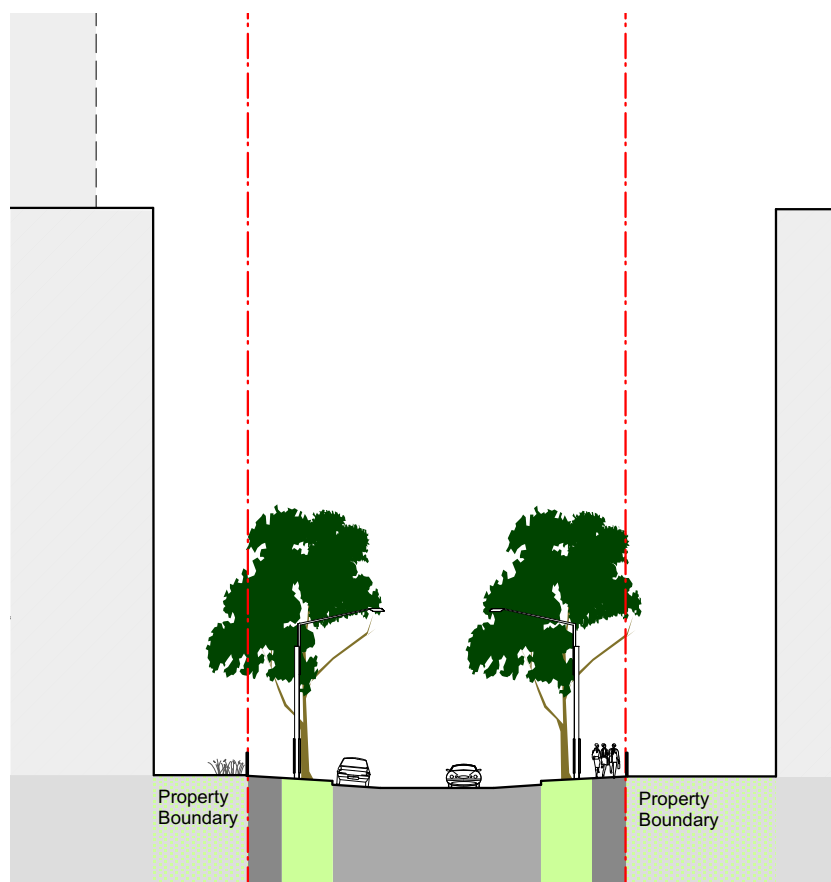
- Residential development of eight storeys with point towers up to twenty storeys.

### Setback

- 2.5m setback to the north and 8m setback to the south.

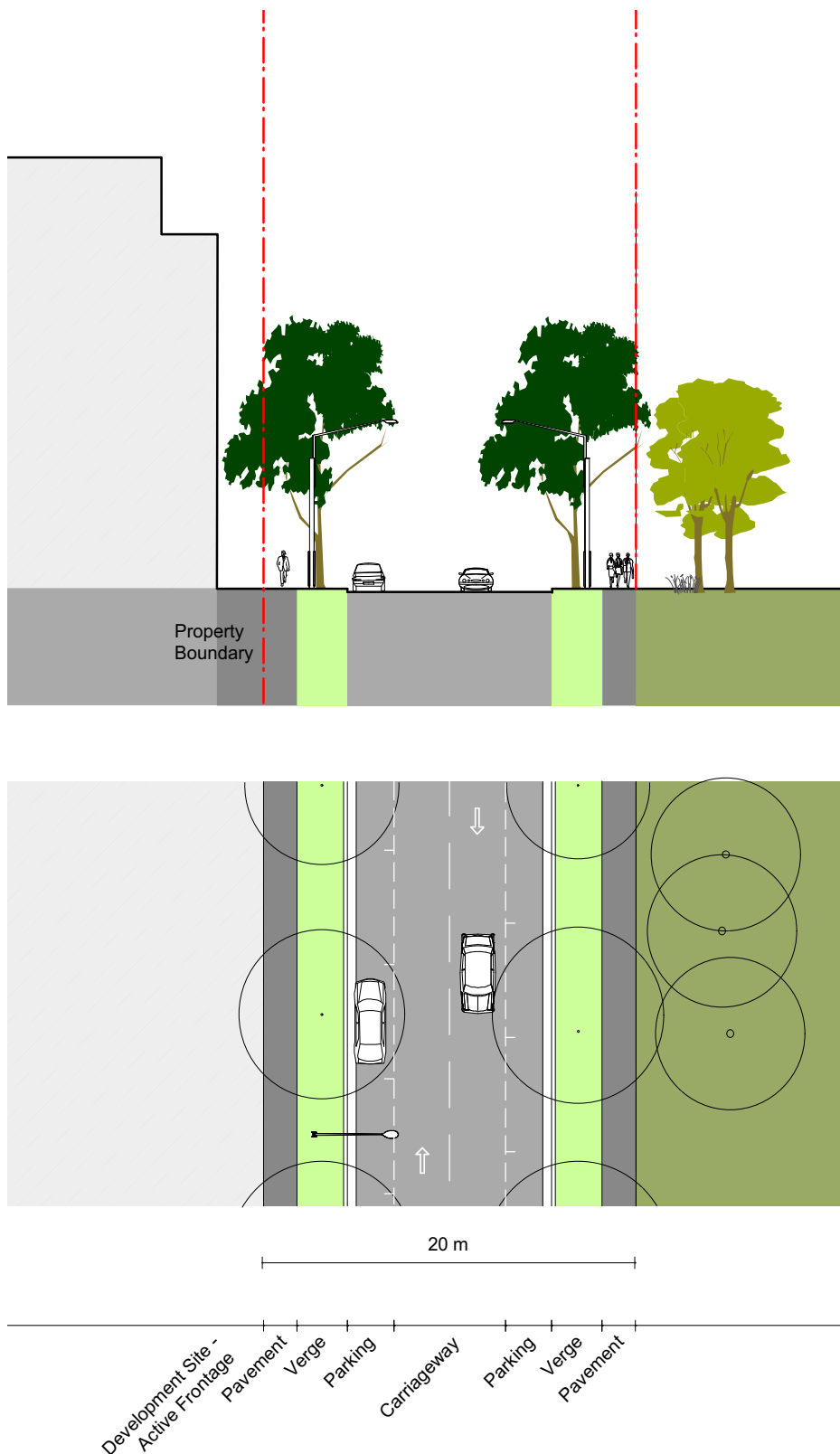
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C21 Figtree Drive – Typical Section and Plan View East



# Appendix C – Street Plans and Sections

Figure C22 Parkview Drive — Typical Section and Plan View East



## Street 22 Parkview Drive

### Character

Parkview Drive is a Local Street in the Parkview precinct characterised by a generous verge and strong landscape character and is a focus for commercial and residential uses.

The street is contained by street defining, active frontages but opens up to a local park at its eastern end, which marks the heart of the Parkview Precinct. The park also has active frontages including retail uses.

### Uses

- Commercial, residential and local park.

### Height

- Predominantly eight storey development to both sides of the street with 30 storey point towers at the intersection with Australia Avenue stepping down to 15 storeys towards Median Street.

### Setback

- No setback required.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 23 North South Street

### Character

These are new Local Streets in the Central Precinct, connecting Figtree Drive's residential community back to Herb Elliott Avenue and Dawn Fraser Avenue and provide access through the precinct. These streets are to have continuous retail frontage for shops and restaurants as well as foyers for commercial and residential entries.

These streets activate the Town Centre and provide strategic connections to transport nodes and new open spaces and frame significant views such as the Bicentennial Marker and the Abattoir precinct.

### Uses

- Commercial and residential.
- North-South Street on axis with Central Park has the option to be delivered as a traffic street, shared way or pedestrian only street.
- During events or as specified by SOPA it may be made available for vehicle use.
- Retail uses, access and parking may be permitted under this street where there are adjoining commercial uses.

### Height

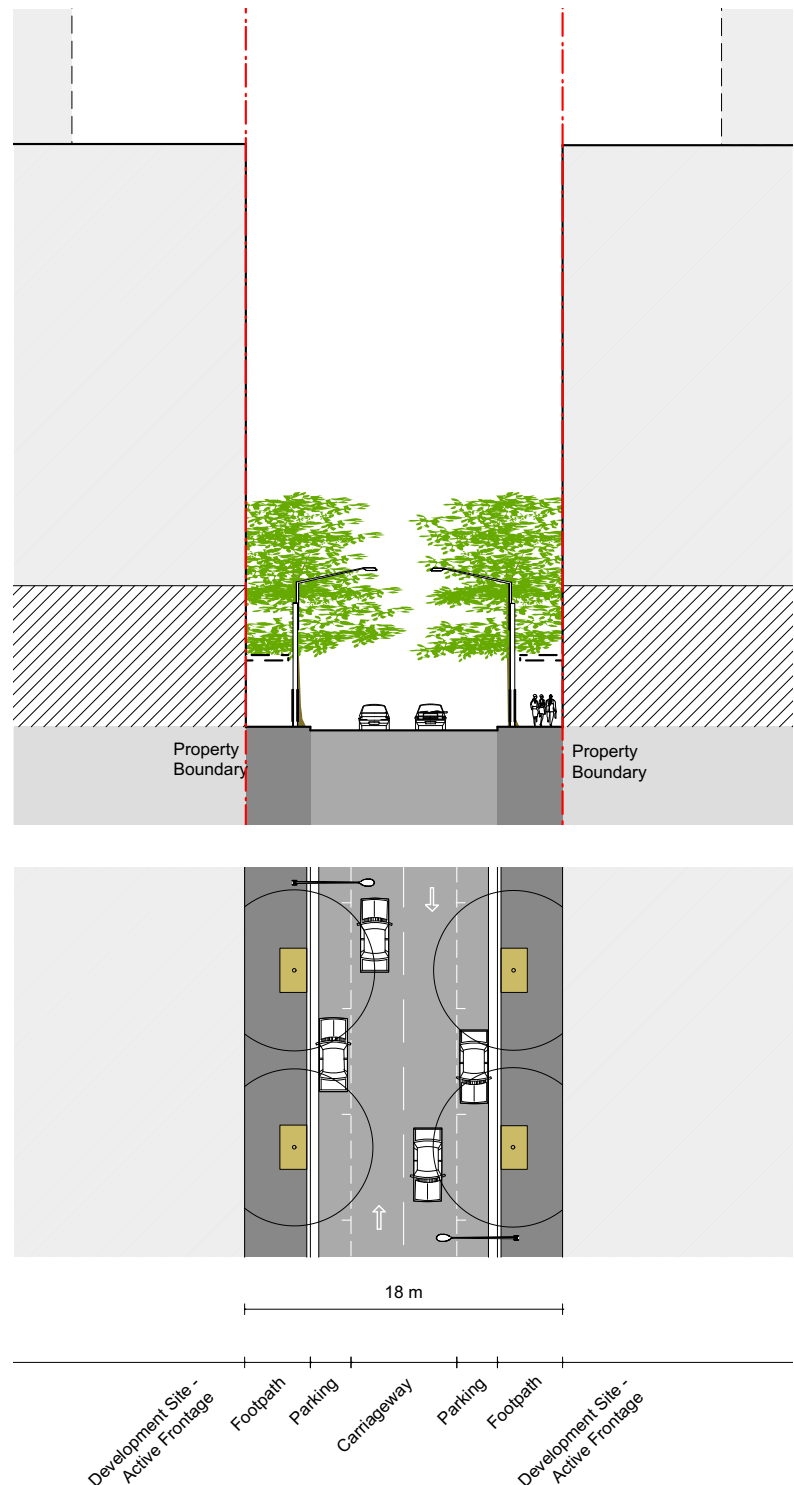
- Five to eight storey base with active frontages and point towers above.
- Double height active uses along the street frontage.

### Setback

- No setback requirement.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

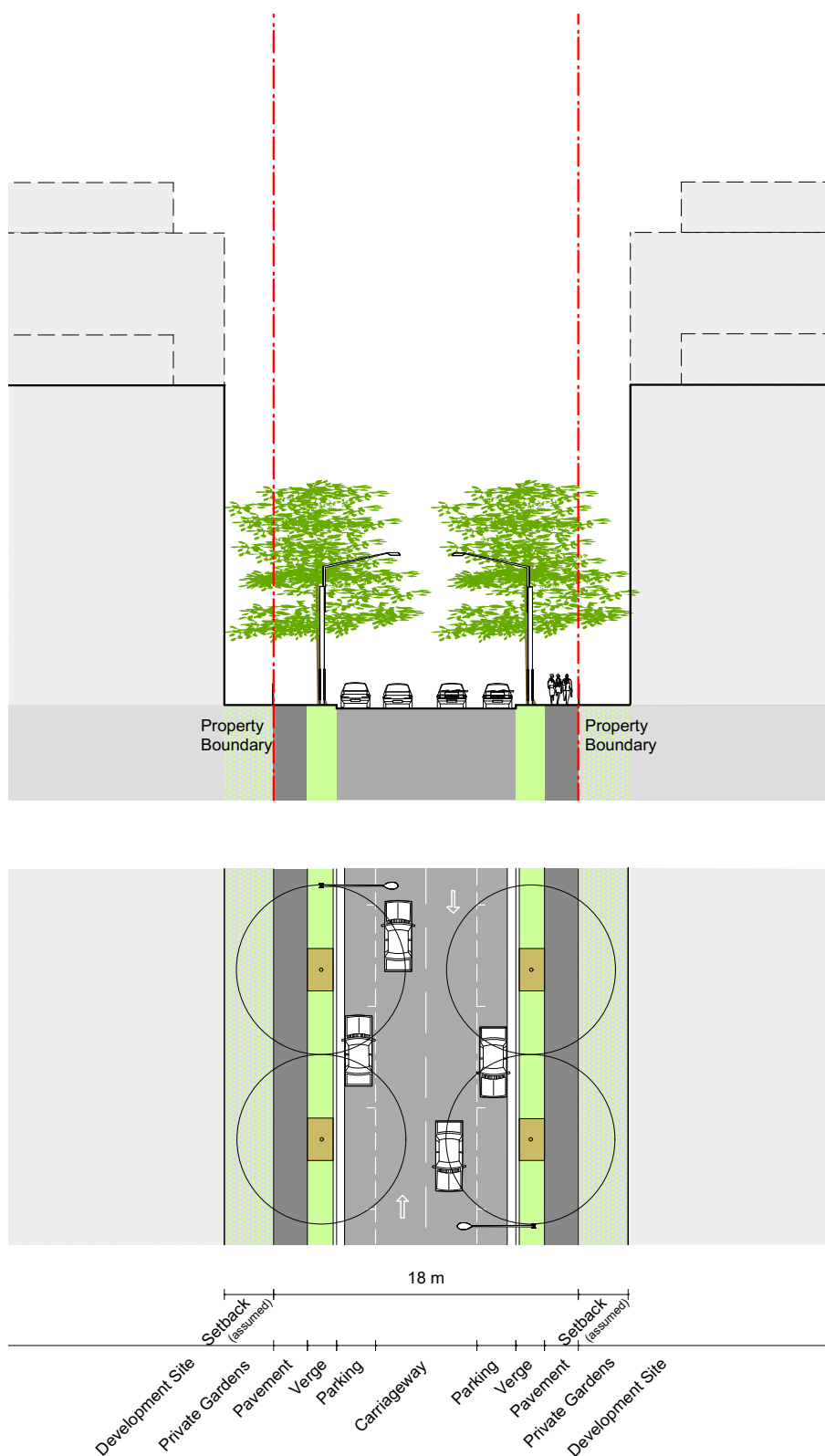
Figure C23 North South Street – Typical Section and Plan View North





# Appendix C – Street Plans and Sections

Figure C24 Verge Street – Typical Section and Plan



## Street 24 Verge Street

### Character

This is one of the Local Streets providing access and street addresses for new residential developments within the central precinct.

With lower traffic volumes and pedestrians movements, these streets are narrower and have simpler finishes and street furniture. Flexibility to vary setbacks allows for a more informal character.

Private gardens for ground level dwellings enhance the neighbourhood character and street access from the street for these dwellings.

### Uses

- This street on axis with Central Park has the option to be delivered as a traffic, shared way or pedestrian only street.
- Residential private open space and residential pedestrian access and addresses the street.
- Where level changes occur, buildings step with the topography. No more than 30% of the buildings frontage is to be above finished ground level and car parking is to be fully underground.

### Height

- Four to eight storeys with point towers above.

### Setback

- 2.5m setback requirement.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 25 Pedestrian Street

### Character

This is one of the Local Streets in the Parkview Precinct, providing views and pedestrian links to Bennelong Parkway and the parklands.

Due to the steep level changes, stairs and ramps are part of the street character, with generous landscaped verges providing a transition to the parklands.

While unsuited to full vehicle access, there is limited access to residential parking from Bennelong Parkway.

### Uses

- Residential.
- Where level changes occur the building steps with the topography. No more than 30% of the buildings frontage is to be above finished ground level, car parking is to be fully underground.

### Height

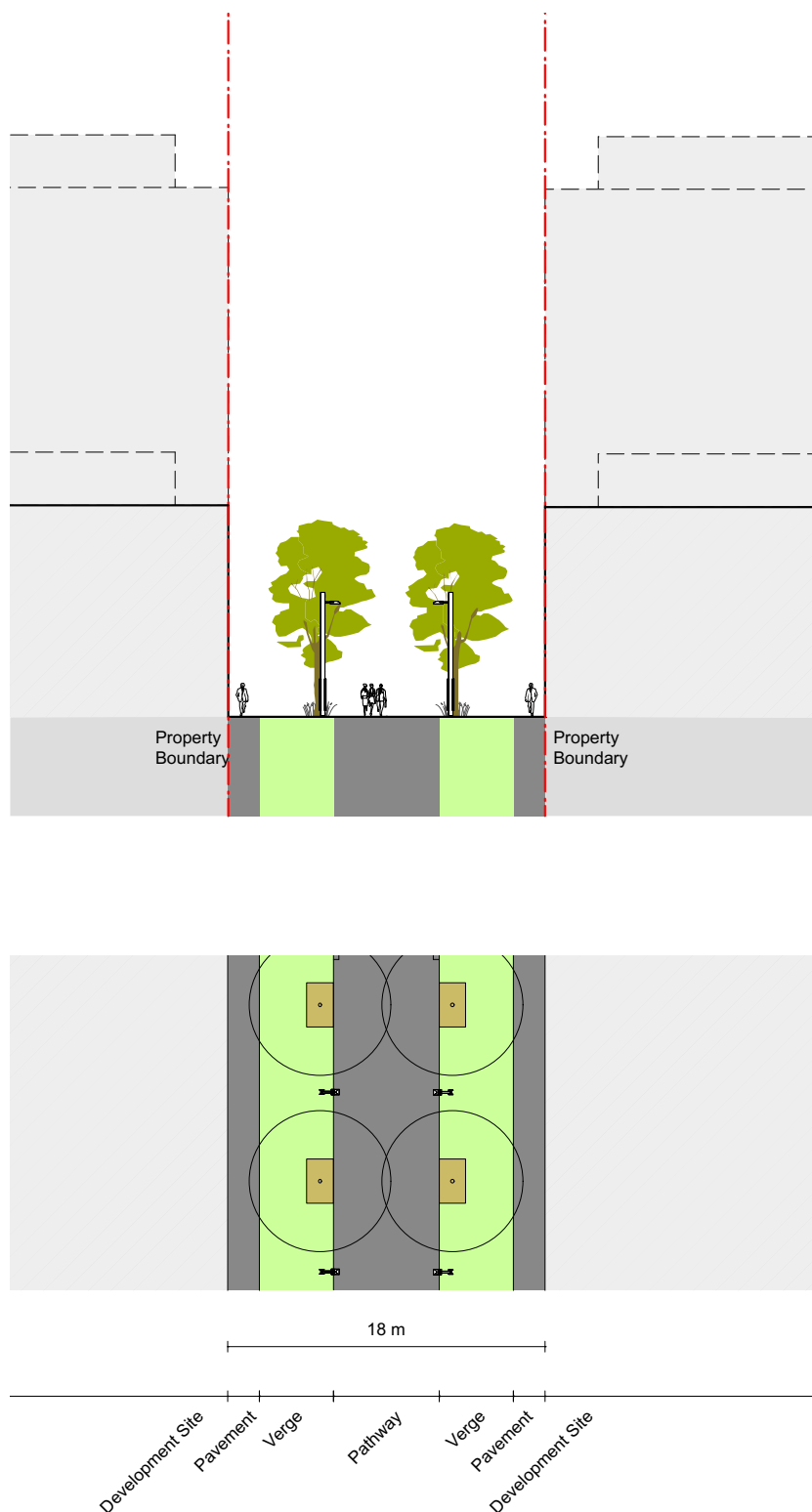
- Six storeys along the park, up to 15 storeys on corners with Median Street.

### Setback

- No setback requirement, with a minimum 50% Build to line.

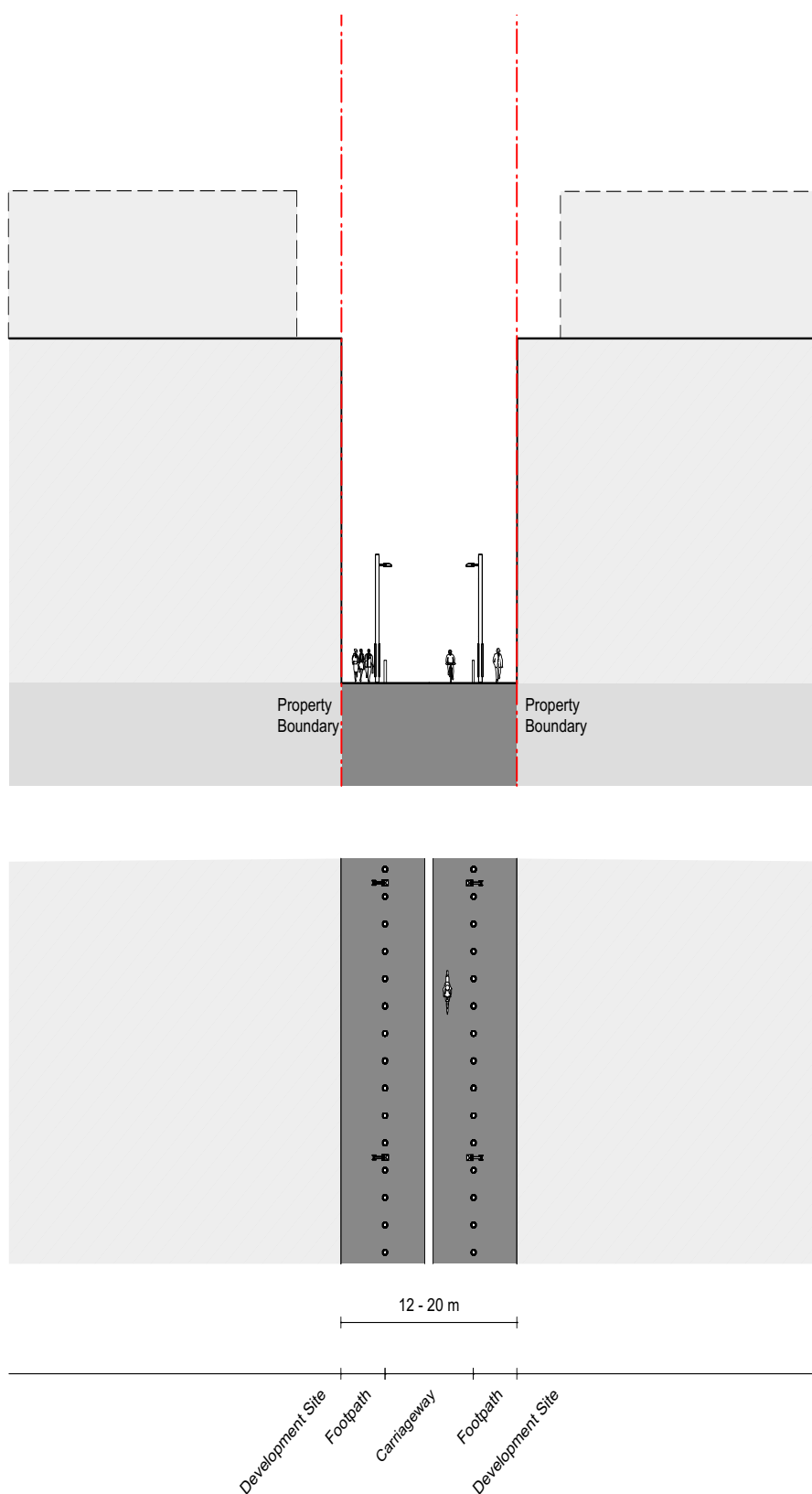
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C25 Pedestrian Street – Typical Section and Plan



# Appendix C – Street Plans and Sections

Figure C26 Shared Way – Typical Section and Plan



## Street 26 Shared Way

### Character

There are Local Streets that form short connecting corridors link the Central Sports Precinct with future development in the adjoining Carter Street area.

Although, the street is intended primarily for pedestrian use, bollards provide safe separation during major events when these corridors become alternative vehicle routes to the rear service roadway behind Edwin Flack Avenue.

### Uses

- Temporary residential, and hotel, and retail at ground level.

### Height

- Seven to eight storey residential.

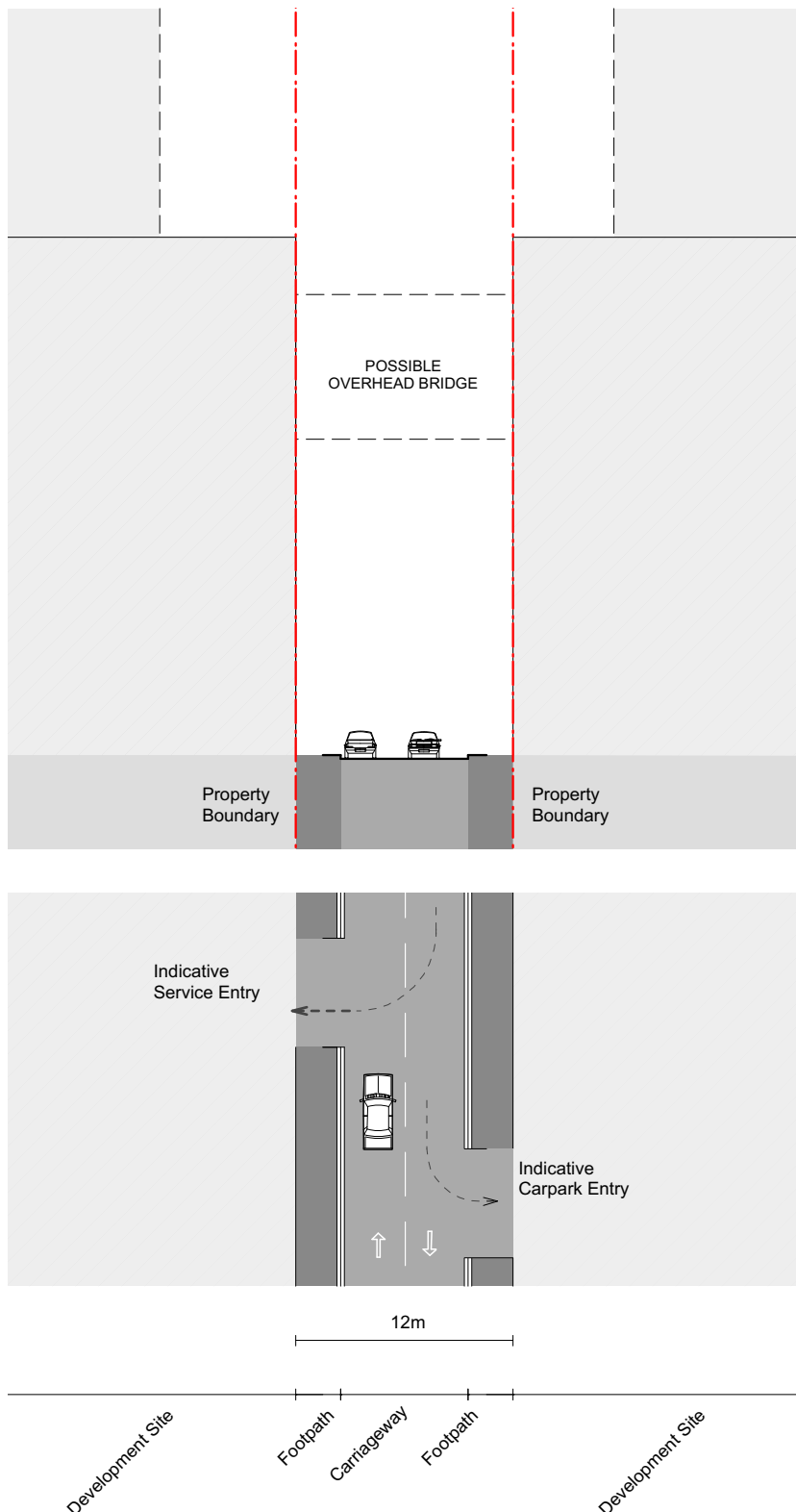
### Setbacks

- 90% build to line between Sites 20 and 21.
- No setback required for other frontages.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

Figure C27 Service Street - Typical Section and Plan View



## Street 27 Service Street

### Character

- This street is to provide vehicular access services, loading bays and fire escapes into commercial and mixed use buildings.
- It will have a back-of-house character with loading docks and driveways.
- This street may be located underground where it provides a right of way access between and to neighboring sites. Where it is located underground the on grade use can assume adjoining land uses, heights and built form.
- Entrances and exits into any underground service street must not be off Figtree Drive

### Uses

- Vehicular access and management.
- Vehicular queuing.
- This street must be located underground where it provides a right of way access between and to neighboring sites. Where it is located underground the on grade use can assume adjoining land uses, heights and built form.

### Height

- Four to eight storeys with towers above.

### Setback

- None.

# Appendix C – Street Plans and Sections

Figure C28 Coach Parking Street – Typical Section and Plan View North

## Street 28 Coach Parking Street

### Character

This Local Street, located in the Haslams Precinct, has a mixed residential and commercial character.

The street is designed to accommodate coach parking during events.

### Uses

- Residential, commercial, coach parking.

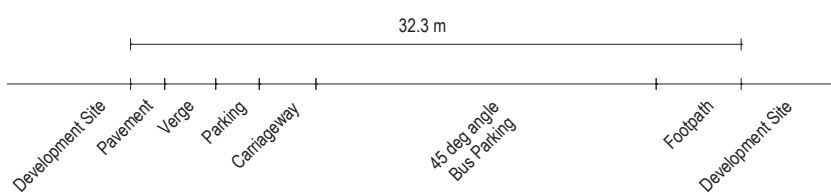
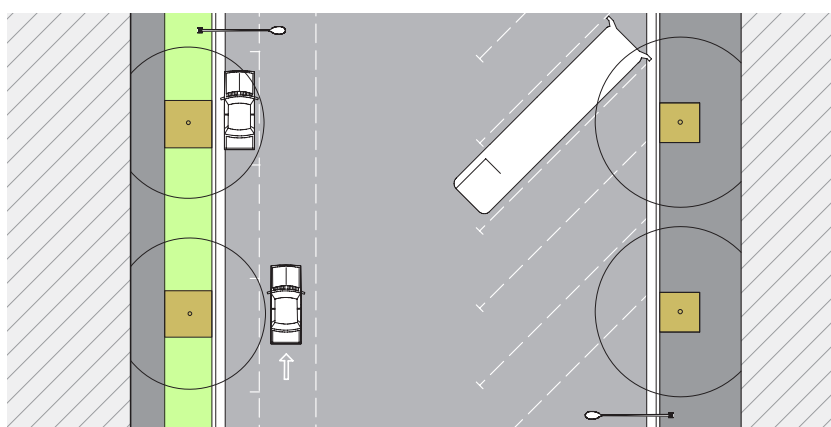
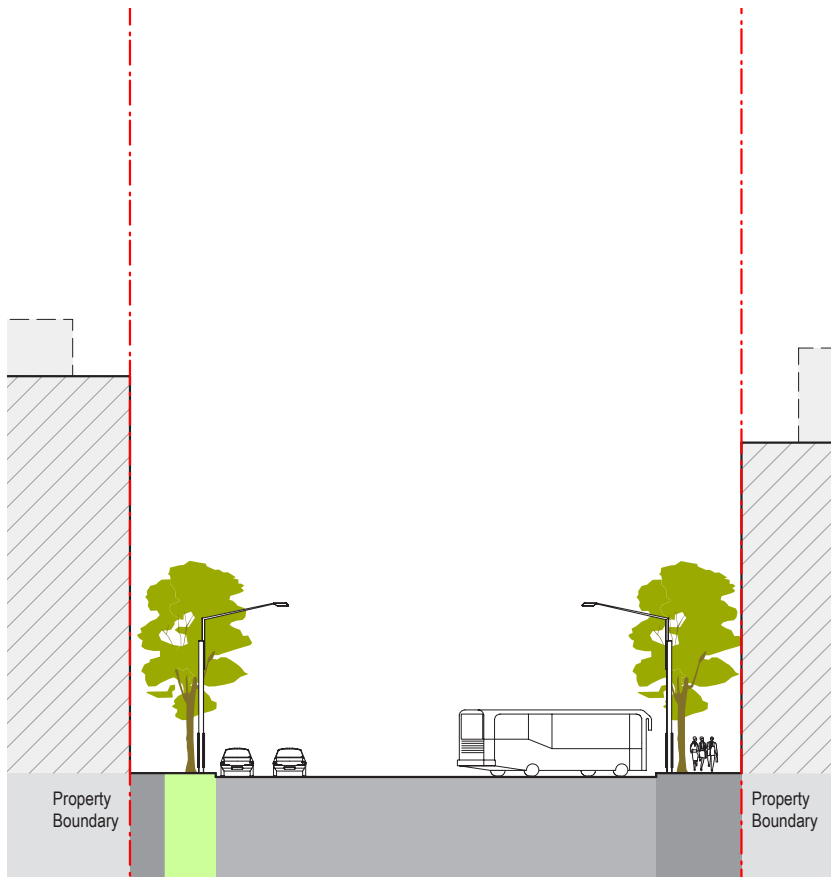
### Height

- Six storey development to both sides of the street.

### Setback

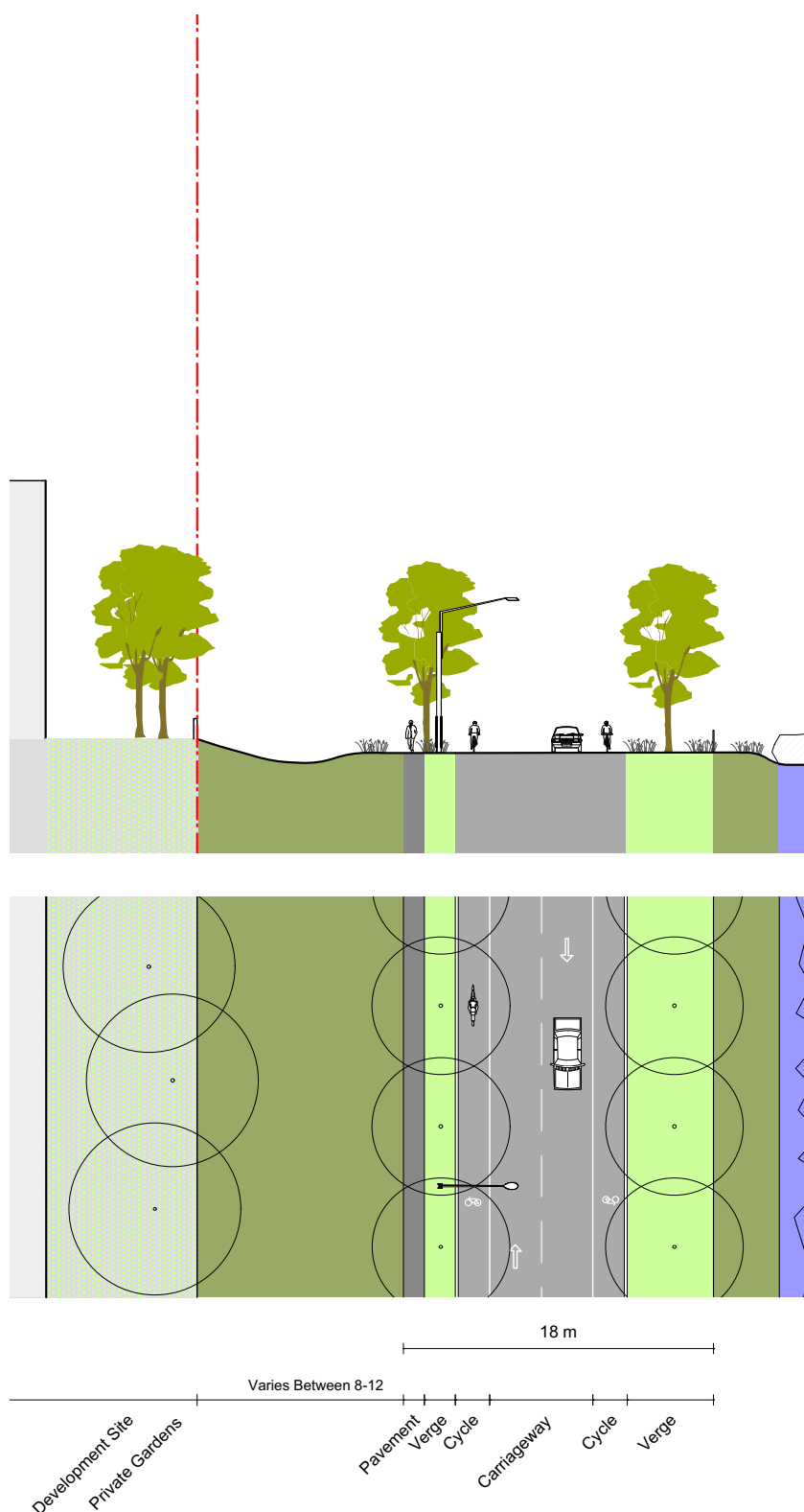
- No setback required.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.



# Appendix C – Street Plans and Sections

Figure C29 Bennelong Parkway – Typical Section and Plan View North



## Street 29 Bennelong Parkway

### Character

Bennelong Parkway is an existing Park Edge Street encircling the eastern edge of the Town Centre and Brickpit Precinct and separating it from Bicentennial Park.

Unformed edges and planted verges reinforce the street's relationship with the adjacent parklands and create an informal character for much of its length.

To the south, new streets and intersections provide direct access into the Parkview Precinct and extend Dawn Fraser and Murray Rose Avenues to Bennelong Parkway.

### Uses

- Residential interspersed with major open space.
- Where level changes occur the building step with the topography, no more than 30% of length of the buildings. Frontage is to be above finished ground level and car parking is to be fully underground.

### Height

- Six storey development to the western frontage.

### Setback

- 3m setback required for private gardens of ground level dwellings.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 30 Marjorie Jackson Parkway

### Character

This Park Edge Street is an extension of Bennelong Parkway and is largely bordered by the parklands along both frontages. It provides access to major recreational and operational facilities, most of which are not visible from Marjorie Jackson Parkway.

Low traffic capacity, unformed street edges and random indigenous planting on the verges reinforce the relationship with the adjacent parklands.

### Uses

- Parklands, WRAMS buildings and car parks.

### Height

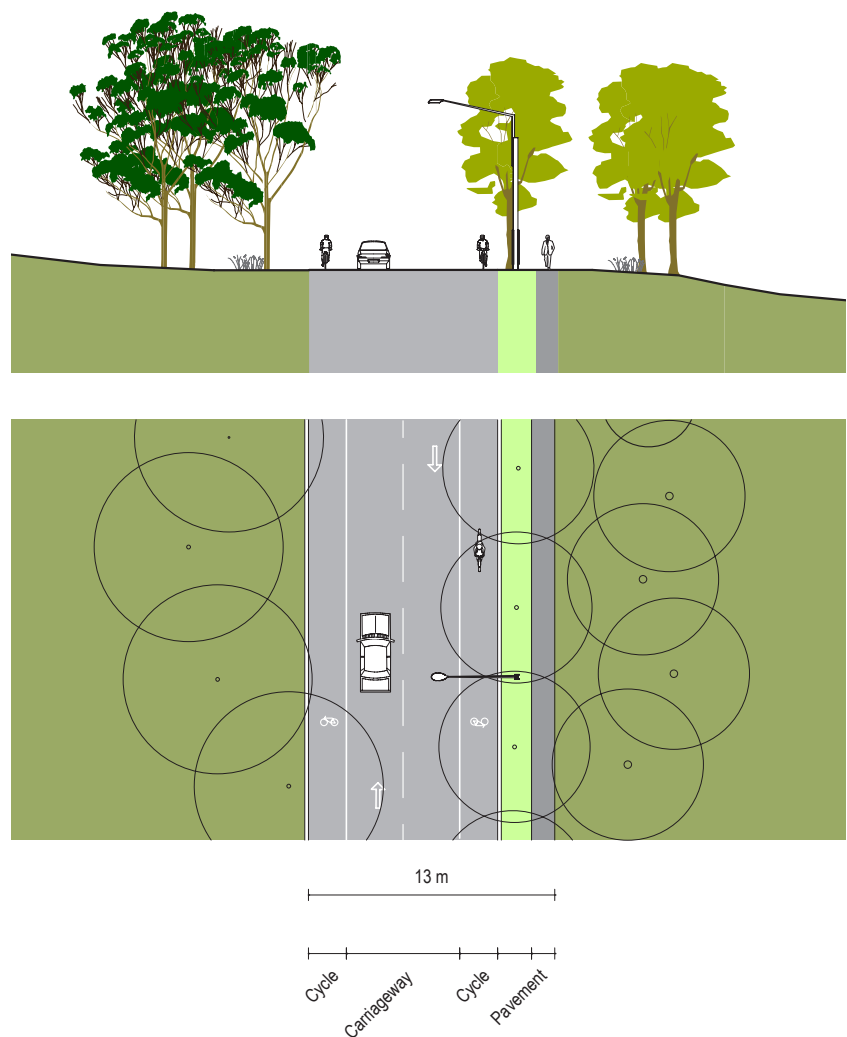
- Not applicable.

### Setback

- Not applicable.

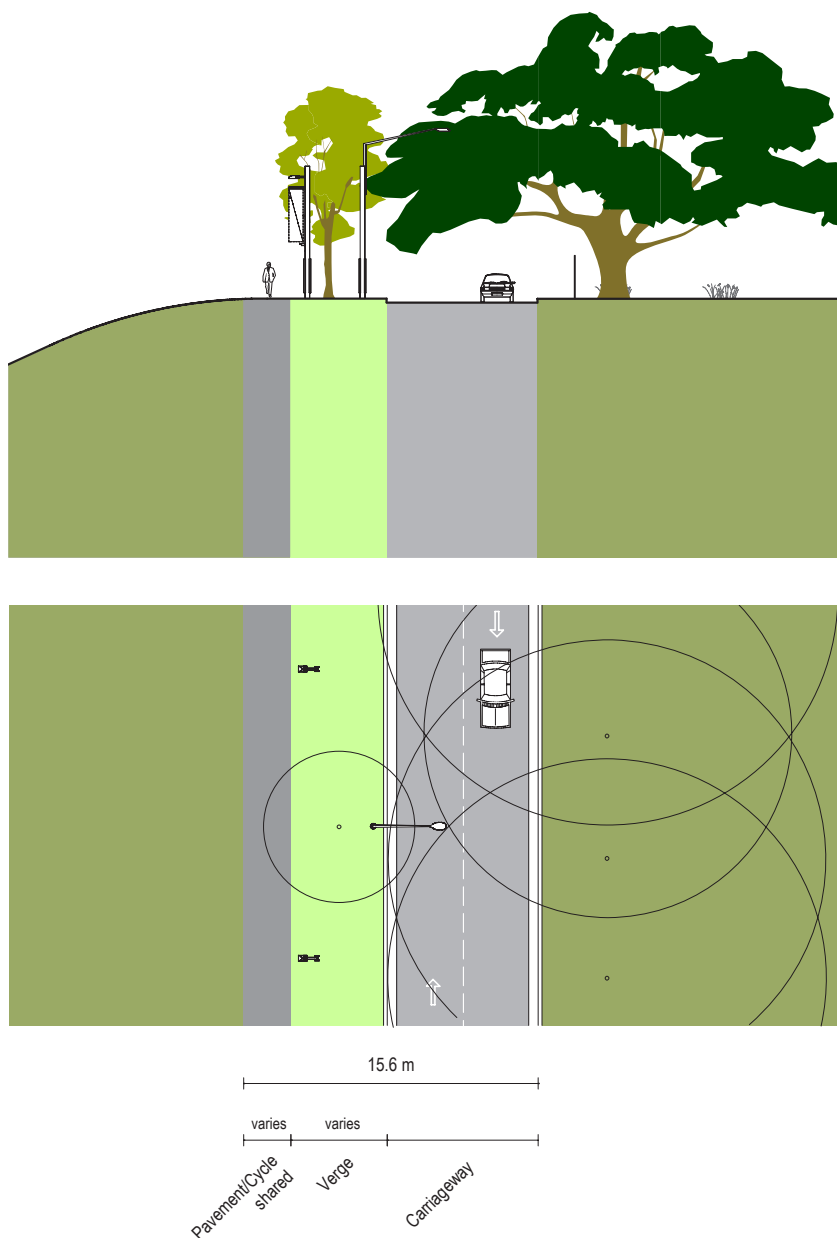
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C30 Marjorie Jackson Parkway – Typical Section and Plan View East



# Appendix C – Street Plans and Sections

Figure C31 Shirley Strickland Avenue – Typical Section and Plan



## Street 31 Shirley Strickland Avenue

### Character

This is a Park Edge Street with a varied character, primarily used for car, taxi and coach layover, and provides access to venues.

It has distinctive landscaped edges as it traverses the Boundary Creek corridor, one of the 'green fingers' that connect to the parklands. The existing urban art installation at the end of Olympic Boulevard is integral to this landscape setting.

The street is more urban at the Rod Laver Drive/Australia Avenue intersection where venue expansion forms a defined gateway into the precinct.

### Uses

- Car and coach parking, taxi rank, venue operations, venue expansion, habitat and urban art.

### Height

- Three to four storey development to southern edge, open space to north.

### Setback

- No setback required.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.



# Appendix C – Street Plans and Sections

## Street 32 Park Edge Street Haslams

### Character

This Park Edge Street is the main street in the Haslams Precinct, providing community open space and retail opportunities to activate the street.

The street frames views of the iconic Pyramid Marker to the north.

It has potential to connect with future development in the Carter Street Precinct to the south.

### Uses

- Residential, retail and local park.

### Height

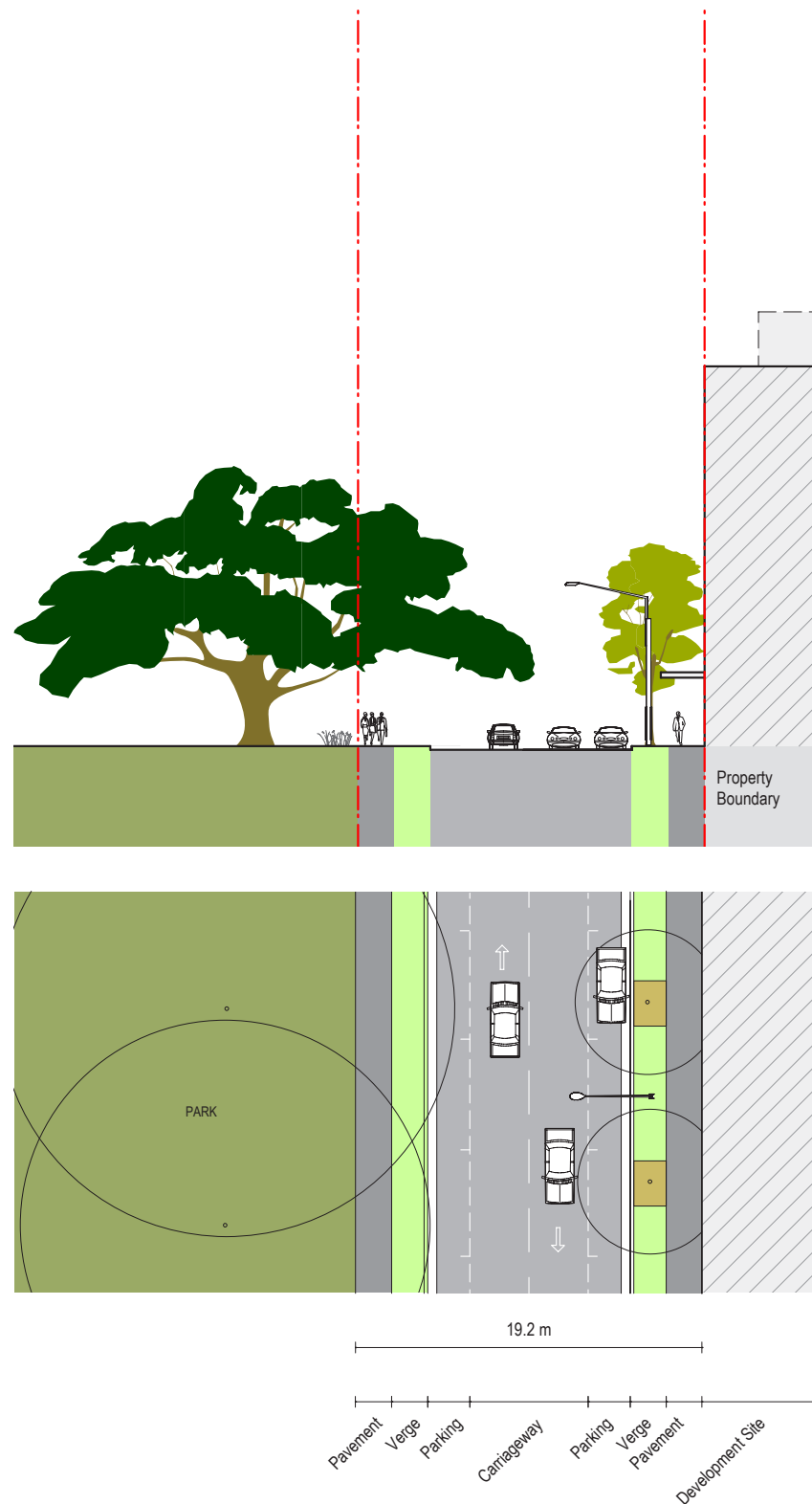
- Open space fronting seven storey development to the north western edge. The south eastern edge is a consistent seven storey frontage.

### Setback

- 90% build to line on the south eastern frontage.
- No setbacks are required to the north western frontage other than a build to boundary condition at street corners.

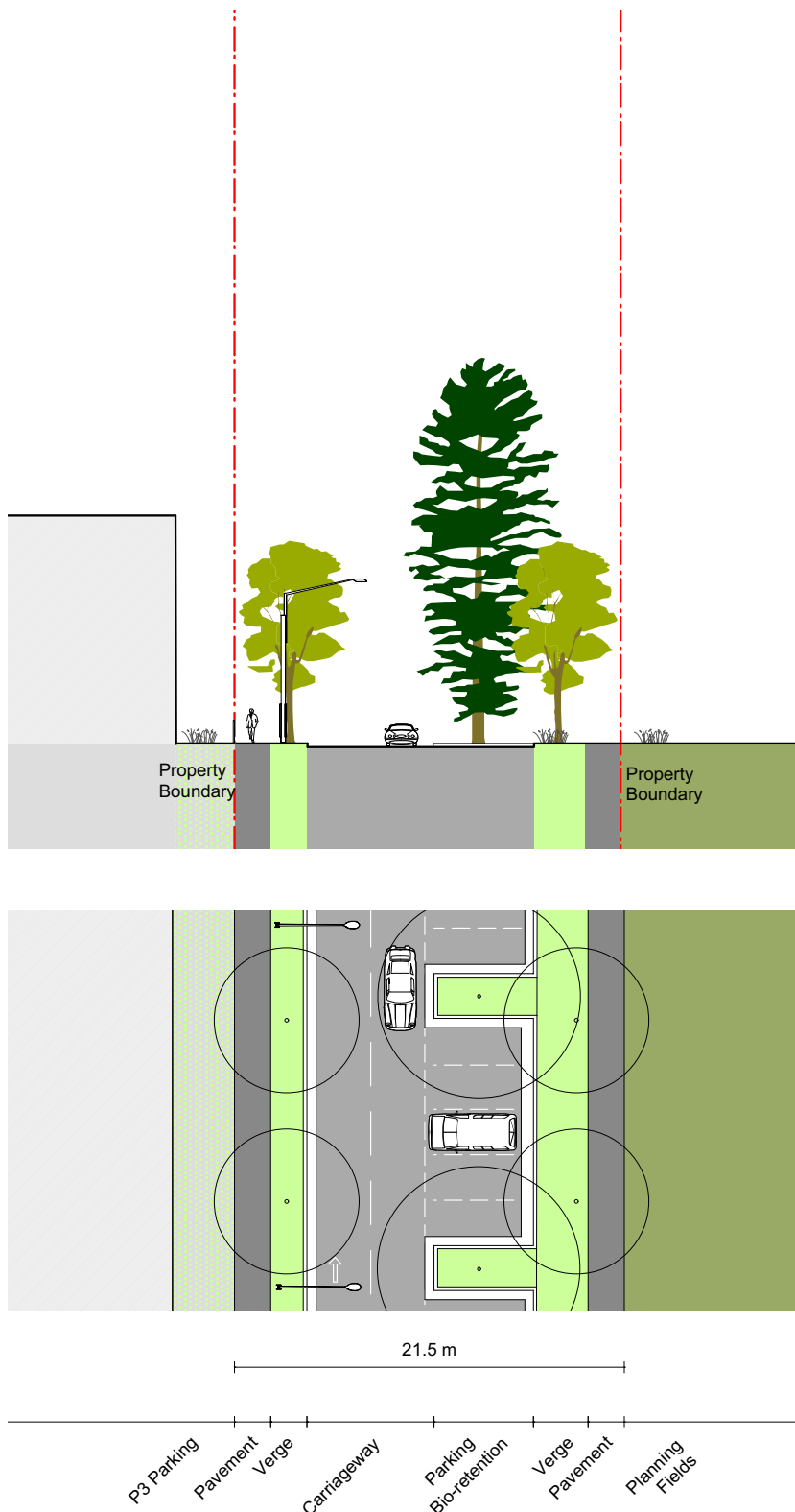
For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C32 Park Edge Street Haslams – Typical Section and Plan View North



# Appendix C – Street Plans and Sections

**Figure C33** Park Edge Street Boundary Creek – Typical Section and Plan View East



## Street 33 Park Edge Street Boundary Creek

### Character

This Park Edge Street of Sarah Durack Avenue provides access to and parking for Tom Wills playing fields.

The street has a distinctive landscaped setting, most notably the Bicentennial Marker, which is one of the key Olympic legacies.

### Uses

- Open space and structured car park beyond.

### Height

- Six storey podium with towers up to 20 storey at the western end.
- Three storey car park to the north and open space elsewhere.

### Setback

- No setback required.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

# Appendix C – Street Plans and Sections

## Street 34 Rod Laver Drive

### Character

Rod Laver Drive, a Park Edge Street, runs along the southern boundary of the Tennis Precinct between Shirley Strickland Avenue and the bus tunnel. The street is used predominantly for vehicle and coach access. To the east and south wide landscaped verges screen the Homebush Bay Drive embankments.

The street is more urban at the Shirley Strickland Avenue intersection where venue expansion forms a gateway into the precinct.

### Uses

- Car parking, open space, venue operations and venue expansion.

### Height

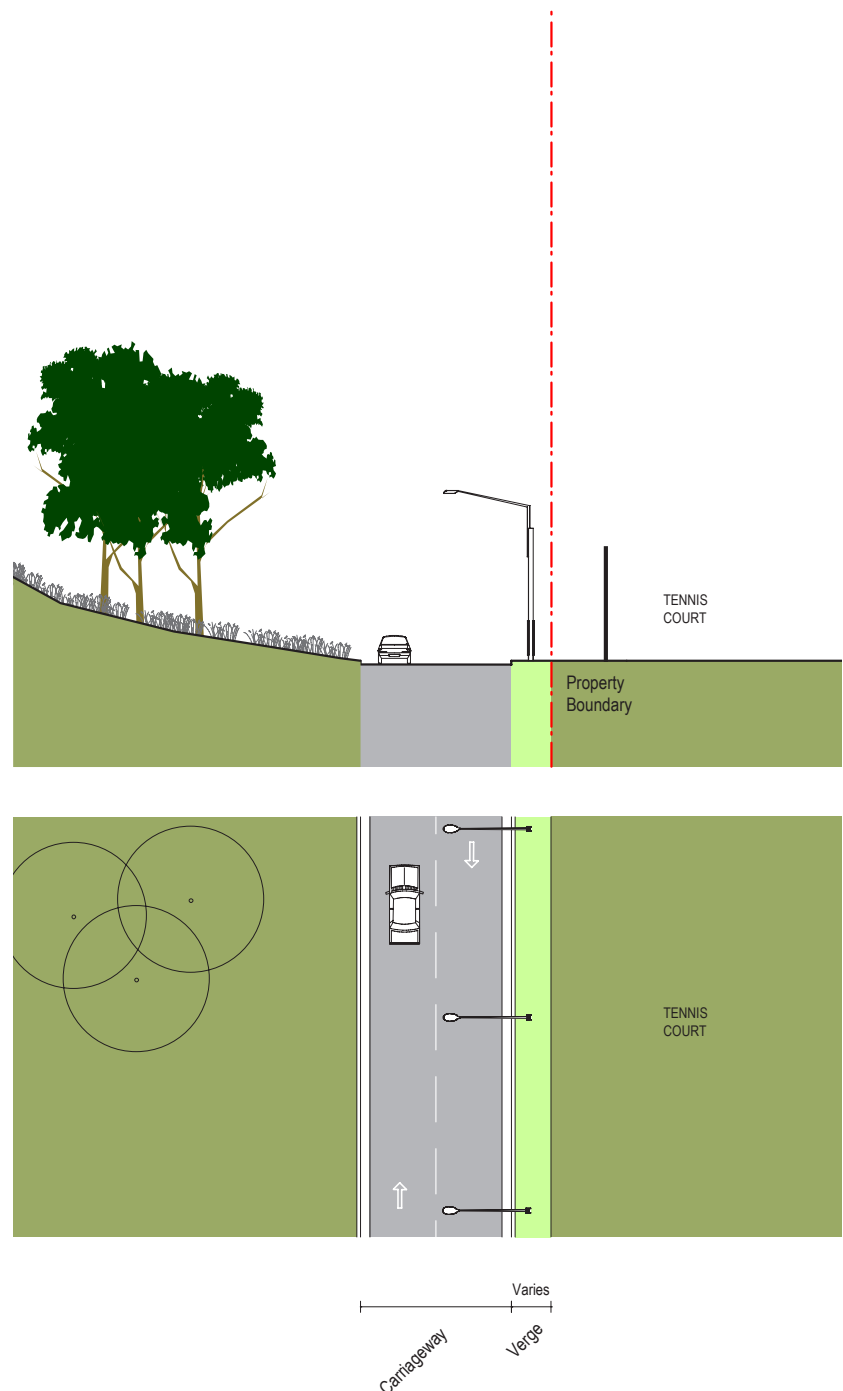
- Six to eight storey development to part of the northern edge.
- Open space to the south.

### Setback

- No setback required.

For information on detailed design and public domain elements refer to the *Sydney Olympic Park Urban Elements Design Manual 2008*.

Figure C34 Rod Laver Drive – Typical Section and Plan



# Appendix C – Street Plans and Sections

## Street 35 Central Park Edge Street

### Character

- This street is an important civic shopping street and forms the heart of the central precinct.

### Uses

- Residential.
- This street has the option to be either a traffic, a shared way or pedestrian only street. Retail uses, access and parking may be permitted under this street.
- During event times or as specified by SOPA they may be made available for vehicle use.

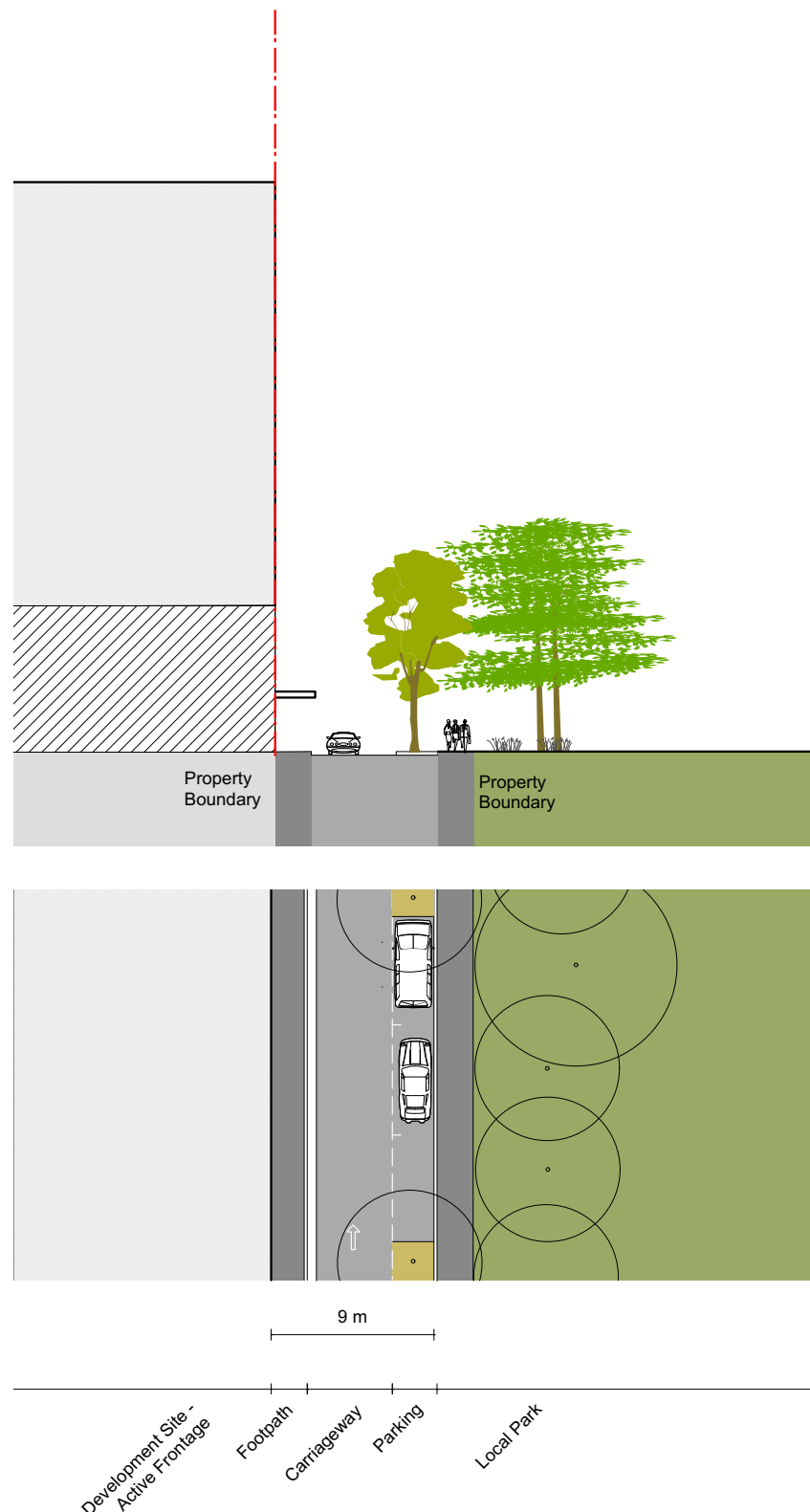
### Height

- 8 storeys with double height active uses.
- During event times or as specified by SOPA they may be made available for vehicle use.

### Setback

- None.

Figure C35 Central Park Edge Street Central Precinct  
– Typical Section and Plan view



# Appendix D – List of Figures and Tables

## Figures

Figure 1.1	Sydney Olympic Park and surrounds in 2016	3
Figure 1.2	Artist's Impression of Sydney Olympic Park and surrounds in 2030	3
Figure 1.3	Sydney Olympic Park and context in 2016	4
Figure 1.4	Sydney Olympic Park Town Centre in 2016	5
Figure 1.5	Land covered by Master Plan 2030 (2018 Review)	7
Figure 1.6	Nine Precincts for Sydney Olympic Park	11
Figure 2.1	Greater Parramatta to Olympic Peninsula Priority Urban Renewal Area	19
Figure 2.2	Master Plan 2002 Land Use Strategy	21
Figure 2.3	Vision 2025 Land Use Strategy	23
Figure 2.4	Artist's Impression of Master Plan 2030 – Illustrative Plan	25
Figure 2.5	Artist's Impression of Master Plan 2030 (2018 Review) – Illustrative Plan	27
Figure 3.1	Existing Heritage and Olympic Legacy	35
Figure 3.2	Views to and from the Town	37
Figure 3.3	Planned Sustainable Structure for the Park	39
Figure 3.4	Illustrative Uses for the Centre	41
Figure 3.5	Planned Public Open Space	43
Figure 3.6	Street Hierarchy	45
Figure 3.7	Public Art Sites	49
Figure 3.8	Landscape Strategy	51
Figure 3.9	Vehicular Access Plan	53
Figure 3.10	Parking Plan	55
Figure 3.11	Public Transport Plan	57
Figure 3.12	Pedestrian and Bicycle Routes	59
Figure 3.13	Illustrative Building Heights	61
Figure 3.14	Proposed New Infrastructure	65
Figure 3.15	Indicative Implementation of Phased Development	67
Figure 4.1	Active Frontages Plan	75
Figure 4.2	Awnings and Colonnades Plan	76
Figure 4.3	Event Access Plan	82
Figure 4.4	Land Uses Plan	83
Figure 4.5	Tower Building Controls	91
Figure 4.6	Design Competition Sites Plan	94
Figure 4.7	Noise Plan – Long Term – Buildings under 25m High	99
Figure 4.8	Noise Plan – Long Term – Buildings over 25m High	100
Figure 4.9	Community Facilities Plan	115
Figure 5.1	Sydney Olympic Park Precincts Plan	119
Figure 5.2	Artist's Impression of Herb Elliott Avenue	120
Figure 5.3	Central Precinct	122

# Appendix D – List of Figures and Tables

Figure 5.4	Town Centre Precinct Illustrative Plan	124
Figure 5.5	Central Precinct Site Boundaries Plan	125
Figure 5.6	Central Precinct Site Floor Space Ratios Plan	126
Figure 5.7	Central Precinct Land Uses Plan	127
Figure 5.8	Central Precinct Building Heights Plan	128
Figure 5.9	Central Precinct Building Zones and Setbacks Plan	129
Figure 5.10	Artist’s Impression of Dawn Fraser Avenue	130
Figure 5.11	Artist’s Impression of Central Sports Campus	130
Figure 5.12	Central Sports Precinct	131
Figure 5.13	Central Sports Precinct Illustrative Plan	134
Figure 5.14	Central Sports Precinct Site Boundaries Plan	135
Figure 5.15	Central Sports Precinct Site Floor Space Ratios Plan	136
Figure 5.16	Central Sports Precinct Land Uses Plan	137
Figure 5.17	Central Sports Precinct Building Heights Plan	138
Figure 5.18	Central Sports Precinct Building Zones and Setbacks Plan	139
Figure 5.19	Artist’s Impression of the Stadium	140
Figure 5.20	Stadia Precinct	141
Figure 5.21	Stadia Precinct Illustrative Plan	144
Figure 5.22	Stadia Precinct Site Boundaries Plan	145
Figure 5.23	Stadia Precinct Site Floor Space Ratios Plan	146
Figure 5.24	Stadia Precinct Land Uses Plan	147
Figure 5.25	Stadia Precinct Building Heights Plan	148
Figure 5.26	Stadia Precinct Building Zones and Setbacks Plan	149
Figure 5.27	Artist’s Impression of Grand Parade	150
Figure 5.28	Sydney Showground Precinct	151
Figure 5.29	Sydney Showground Precinct Illustrative Plan	154
Figure 5.30	Sydney Showground Precinct Site Boundaries Plan	155
Figure 5.31	Sydney Showground Precinct Site Floor Space Ratios Plan	156
Figure 5.32	Sydney Showground Precinct Land Uses Plan	157
Figure 5.33	Sydney Showground Precinct Building Heights Plan	158
Figure 5.34	Sydney Showground Precinct Building Zones and Setbacks Plan	159
Figure 5.35	Artist’s Impression of Bennelong Parkway	160
Figure 5.36	Parkview Precinct	161
Figure 5.37	Parkview Precinct Illustrative Plan	164
Figure 5.38	Parkview Precinct Site Boundaries Plan	165
Figure 5.39	Parkview Precinct Site Floor Space Ratios Plan	166
Figure 5.40	Parkview Precinct Land Uses Plan	167
Figure 5.41	Parkview Precinct Building Heights Plan	168
Figure 5.42	Parkview Precinct Building Zones and Setbacks Plan	169
Figure 5.43	Artist’s Impression of Boundary Creek Precinct	170

# Appendix D – List of Figures and Tables

Figure 5.44	Boundary Creek and Tennis Precincts	171
Figure 5.45	Boundary Creek and Tennis Precincts Illustrative Plan	174
Figure 5.46	Boundary Creek and Tennis Precincts Site Boundaries Plan	175
Figure 5.47	Boundary Creek and Tennis Precincts Site Floor Space Ratios Plan	176
Figure 5.48	Boundary Creek and Tennis Precincts Land Uses Plan	177
Figure 5.49	Boundary Creek and Tennis Precincts Building Heights Plan	178
Figure 5.50	Boundary Creek and Tennis Precincts Building Zones and Setbacks Plan	179
Figure 5.51	Artist’s Impression of the Southern Sports Precinct	180
Figure 5.52	Southern Sports Precinct	181
Figure 5.53	Southern Sports Precinct Illustrative Plan	184
Figure 5.54	Southern Sports Precinct Site Boundaries Plan	185
Figure 5.55	Southern Sports Precinct Site Floor Space Ratios Plan	186
Figure 5.56	Southern Sports Precinct Land Uses Plan	187
Figure 5.57	Southern Sports Precinct Building Heights Plan	188
Figure 5.58	Southern Sports Precinct Building Zones and Setbacks Plan	189
Figure 5.59	Artist’s Impression of Haslams Precinct Park	190
Figure 5.60	Haslams Precinct	191
Figure 5.61	Haslams Precinct Illustrative Plan	194
Figure 5.62	Haslams Precinct Site Boundaries Plan	195
Figure 5.63	Haslams Precinct Site Floor Space Ratios Plan	196
Figure 5.64	Haslams Precinct Land Uses Plan	197
Figure 5.65	Haslams Precinct Building Heights Plan	198
Figure 5.66	Haslams Precinct Building Zone and Setbacks Plan	199
Figure B1	Public Spaces Key	208
Figure C	Street Type Key	218
Figure C1	Olympic Boulevard North – Typical Section and Plan View North	221
Figure C2	Olympic Boulevard South – Typical Section and Plan View North	223
Figure C3	Dawn Fraser Avenue East – Typical Section and Plan View West	224
Figure C4	Dawn Fraser Avenue Central – Typical Section and Plan View West	225
Figure C5	Dawn Fraser Avenue West – Typical Section and Plan View West	226
Figure C6	Murray Rose Avenue East – Typical Section and Plan View East	227
Figure C7	Murray Rose Avenue Central – Typical Section and Plan View West	228
Figure C8	Australia Avenue – Typical Section and Plan View Central	229
Figure C9	Kevin Coombs Avenue – Typical Section and Plan View East	230
Figure C10	Edwin Flack Avenue – Typical Section and Plan View North	231
Figure C11	Sarah Durack Avenue – Typical Section and Plan View East	232
Figure C12	Pondage Link – Typical Section View and Plan North West	233
Figure C13	Old Hill Road – Typical Section and Plan View North	234
Figure C14	Herb Elliott Avenue – Typical Section and Plan View East	235
Figure C15	Shane Gould Avenue East – Typical Section and Plan View West	236

# Appendix D – List of Figures and Tables

Figure C16	Shane Gould Avenue West – Typical Section and Plan View East	237
Figure C17	Showground Road – Typical Section and Plan View North	238
Figure C18	Grand Parade – Typical Section and Plan View West	239
Figure C19	Central Shopping Street – Typical Section and Plan View East	240
Figure C20	Median Street – Typical Section and Plan View North	241
Figure C21	Figtree Drive – Typical Section and Plan View East	242
Figure C22	Parkview Drive – Typical Section and Plan View East	243
Figure C23	North South Street – Typical Section and Plan View North	244
Figure C24	Verge Street – Typical Section and Plan	245
Figure C25	Pedestrian Street – Typical Section and Plan	246
Figure C26	Shared Way – Typical Section and Plan	247
Figure C27	Service Street – Typical Section and Plan View	248
Figure C28	Coach Parking Street – Typical Section and Plan View North	249
Figure C29	Bennelong Parkway – Typical Section and Plan View North	250
Figure C30	Marjorie Jackson Parkway – Typical Section and Plan View East	251
Figure C31	Shirley Strickland Avenue – Typical Section and Plan	252
Figure C32	Park Edge Street Haslams – Typical Section and Plan View North	253
Figure C33	Park Edge Street Boundary Creek – Typical Section and Plan View East	254
Figure C34	Rod Laver Drive – Typical Section and Plan	255
Figure C35	Central Park Edge Street Central Precinct – Typical Section and Plan view	256

## Tables

Table 3.1	New Facilities and Infrastructure	64
Table 4.1	Environmental Ratings	72
Table 4.2	Allowable Land Uses	84
Table 4.3	Minimum Ceiling Heights	89
Table 4.4	Minimum Building Separation	90
Table 4.5	Maximum Noise Criteria – Office Development	98
Table 4.6	Maximum Noise Criteria – Educational Development	98
Table 4.7	Maximum Noise Criteria – Residential Development	101
Table 4.8	Maximum Noise Criteria – Hotels and Serviced Apartments	10
Table 4.9	Minimum Residential Apartment Sizes	104
Table 4.10	Maximum Vehicle Parking Rates – Non-Residential Uses	108
Table 4.11	Maximum Vehicle Parking Rates – Residential Uses	109
Table 4.12	Minimum Bicycle Parking Rates	109
Table 4.13	Minimum Open Space Provision – Residential Uses	112
Table 4.14	Minimum Soil Depth Provisions	113
Table 4.15	Community Facilities and Services Phasing	114



# Glossary

## **Active Frontage/Active Use**

The design of the buildings interface between the inside of the building and a public place (a public place includes spaces in both public and private ownership and can include a park, a street, a through site link, a forecourt) at ground, first and in some cases second levels that provides continuous visual and physical connection between the inside of the building and the public space, it also provides an address for the building. In order to achieve this:

- The building and the public space are on the same grade,
- in commercial and mixed use areas the use is predominantly retail and lobbies that provides glazed doors and windows,
- in residential areas the use is predominantly a common or private open space transitioning to a residential dwelling or common interior that provides low fencing, front doors and gates.

Double height active frontages can have either a double height ground level active use or have two levels of active uses.

---

## **Balcony**

An above ground open space element. Balconies, including terraces and decks, cannot be completely weatherproof.

Roofs, screen walls and louvres are encouraged on residential balconies to promote privacy, shelter and all weather access.

---

## **Build to Line**

A front setback expressed as a required distance from the street edge of the building envelope, establishing a consistent and well-coordinated streetscape. The nominated percentage must lie on the building line or not more than 1m inside it. Balconies and windows may contribute to the build to line.

---

## **Building Zone**

The part of a site that can be built on. The building zone may only be completely built over when concurrent compliance with floor space ratio, building depth, open space, setbacks, balcony and deep soil controls can be achieved.

Note: In Master Plan 2030 the building zone is mostly shown larger than a suitable building footprint to allow design flexibility and it is not intended that the building zone will be completely built over on most sites.

---

## **Council**

City of Parramatta Council.

---

## **Deep Soil Landscape**

Soft landscaping, including mature tree planting, above unimpeded deep soil. Car parking is not allowed on deep soil.

## **Estuary**

Includes: (a) any part of a river whose level is periodically or intermittently affected by coastal tides; (b) any lake or other partially enclosed body of water that is periodically or intermittently open to the sea; (c) anything declared by the regulations (under the Water Management Act 2000) to be an estuary. It does not include anything declared by the regulations (under the Water Management Act 2000) not to be an estuary.

---

## **Floor Space Ratio (FSR)**

The ratio of the gross floor area of all buildings within the site to the site area.

---

## **Open Space**

Areas that are set aside within the Town Centre boundaries for recreational uses with unrestricted public access, such as parks, playing fields, landscape buffers and community paths, but does not include National Parks or nature reserves.

**Park**

A public open space that is used for recreation.

---

**Parking Space**

Space dedicated for the parking of a motor vehicle, including manoeuvring space and access to it, but does not include a car park.

---

**Private Open Space**

An area of land, terrace, balcony, roof garden or the like which is allocated to an individual dwelling and intended for the exclusive use of the occupants of that dwelling.

---

**Themed Retail Premises**

A building or place defined as stand-alone or grouped retail facilities associated with the following themes: education, sport, health, leisure and wellbeing, culture, the arts, food and entertainment, cinemas.

---

**Setback**

The distance from the site boundary to the wall of a building. Balconies, bay windows and other architectural projections may extend 300 mm into the setback zone.

---

**Site Boundary**

The site boundary defines the extent of the surveyed lot.

---

**Through Site Link**

Through site links provide opportunities for additional views and finer grain pedestrian links between communal open

space and the public domain. Through site links are to be a minimum 3.5 m wide and open to the sky.

---

**Utility Installation**

A building, work or place used by a public utility undertaking, but does not include a building designed wholly or principally as administrative or business premises or as a showroom.

---

**Vehicle Access Points**

The vehicular access point defines the location of vehicular entry/exit points to the site.

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# Acronyms and Abbreviations

<b>AHD</b>	Australian Height Datum
<b>AS</b>	Australian Standard
<b>BASIX</b>	Building Sustainability Index
<b>CEMP</b>	<i>Construction Environmental Management Plan</i>
<b>DCP</b>	<i>Development Control Plan</i>
<b>DEMP</b>	<i>Design Environmental Management Plan</i>
<b>ESD</b>	Ecologically Sustainable Design
<b>EP&amp;A Act</b>	<i>Environmental Planning and Assessment Act 1979</i>
<b>FSR</b>	Floor Space Ratio
<b>GFA</b>	Gross Floor Area
<b>ICF 2030</b>	<i>Infrastructure Contributions Framework 2030 (2018 Review)</i>
<b>OEMP</b>	<i>Operational Environmental Management Plan</i>
<b>P1</b>	Car park
<b>P2</b>	Car park
<b>P3</b>	Car park
<b>P4</b>	Car park
<b>P5</b>	Car park
<b>P6</b>	Car park
<b>SEPP</b>	<i>State Environmental Planning Policy</i>
<b>SREP</b>	<i>Sydney Regional Environmental Plan</i>
<b>SOPA</b>	Sydney Olympic Park Authority
<b>AIA</b>	Australian Institute of Architects
<b>RL</b>	Relative Level
<b>WRAMS</b>	Water Reclamation and Management Scheme
<b>WRAPP</b>	Waste Reduction and Purchasing Policy

# Key Documents Related to Master Plan 2030

*Sydney Olympic Park Authority Act 2001* and regulations

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SEPP (State Significant Precincts) 2005

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SEPP (Infrastructure) 2007

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SEPP (Sydney Harbour Catchment) 2005

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SEPP 55 Remediation of Land

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SEPP 64 Advertising and Signage

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SEPP 65 Design Quality of Residential Apartment Development

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Sydney Olympic Park Plan of Management 2010

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Sydney Olympic Park Infrastructure Contributions Framework 2030

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Environmental Guidelines for Sydney Olympic Park 2008

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Sydney Olympic Park Major Event Impact Assessment Guidelines

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Sydney Olympic Park Access Guidelines (July 2015)

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Sydney Olympic Park Urban Elements Design Manual 2008

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Sydney Olympic Park Authority Guidelines for Outdoor Advertising, Identification and Promotional Signage (October 2002)

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Sydney Olympic Park Authority Report for Master Plan 2030 Street Concept Design

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Sydney Olympic Park 2030 Significant Tree Register

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Sydney Olympic Park Master Plan 2030 Noise Management Plan

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Sydney Olympic Park Master Plan 2030 Transport Strategy

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Community Facilities Strategy for Master Plan 2030

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Relevant Flood Studies

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SOP Stormwater Management and water sensitive Urban Design Policy

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